

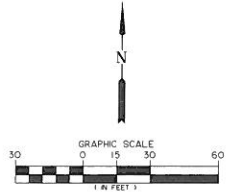
BASE SURVEY PROVIDED BY GEOMAX, INC.  
 DATED 08/03/2016  
 WITH UPDATES 9/27/2016

**LEGEND**

- |   |                             |        |                             |
|---|-----------------------------|--------|-----------------------------|
| — | PROPERTY LINE               | XXXX   | EXISTING BUILDING           |
| ○ | EXISTING FIRE HYDRANT       | XXXXXX | EXISTING CONCRETE PAVING    |
| ○ | EXISTING WATER VALVE        | XXXXXX | EXISTING ASPHALT PAVING     |
| ○ | EXISTING CATCH BASIN        | X      | EXISTING TREE TO BE REMOVED |
| ○ | EXISTING STORM MANHOLE      |        |                             |
| ○ | EXISTING WASTEWATER MANHOLE |        |                             |
| ○ | EXISTING TELEPHONE RISER    |        |                             |
| ○ | EXISTING TELEPHONE MANHOLE  |        |                             |
| ○ | EXISTING GAS VALVE          |        |                             |
| ○ | EXISTING GAS METER          |        |                             |
| ○ | EXISTING POWER POLE         |        |                             |
| ○ | EXISTING TREE               |        |                             |

**NOTES**

- 1 EXISTING TREES TO BE PROTECTED.
- 2 EXISTING TREES TO BE REMOVED.
- 3 EXISTING ASPHALT PAVEMENT TO BE REMOVED.
- 4 EXISTING CONCRETE TO BE REMOVED.
- 5 REMOVE EXISTING WALLS.
- 6 REMOVE EXISTING STEPS.
- 7 EXISTING STRUCTURE TO BE REMOVED.
- 8 REMOVE EXISTING CURB AND SIDEWALK.
- 9 REMOVE EXISTING DRIVEWAY.
- 10 REMOVE EXISTING UTILITY STRUCTURE. COORDINATE WITH UTILITY PROVIDER AND ENGINEER FOR REVISED SERVICE.
- 11 PROTECT EXISTING UTILITY STRUCTURE.
- 12 WATER SERVICE AND BACKFLOW SHALL BE REMOVED. COORDINATE WITH CITY OF COTTAGE GROVE AND SCHOOL DISTRICT FOR RELOCATED SERVICE AND IF THE BACKFLOW CAN BE REUSED.
- 13 COORDINATE REMOVAL OF EXISTING PAVEMENT WITH SCHOOL DISTRICT.



NOT FOR CONSTRUCTION  
 SUBJECT TO AGENCY REVIEW  
**SITE REVIEW PACKAGE**

**SLSD NEW ELEMENTARY**  
 Project Address

**BLRB architects**  
 TACOMA | SPOKANE | PORTLAND | BEND  
 509.475.1111  
 www.blrb.com

**Branch ENGINEERING**  
 civil • transportation  
 structural • geotechnical  
 SURVEYING  
 310 1st Street, Spokane, WA 99201  
 www.BranchEngineering.com  
 Since 1977

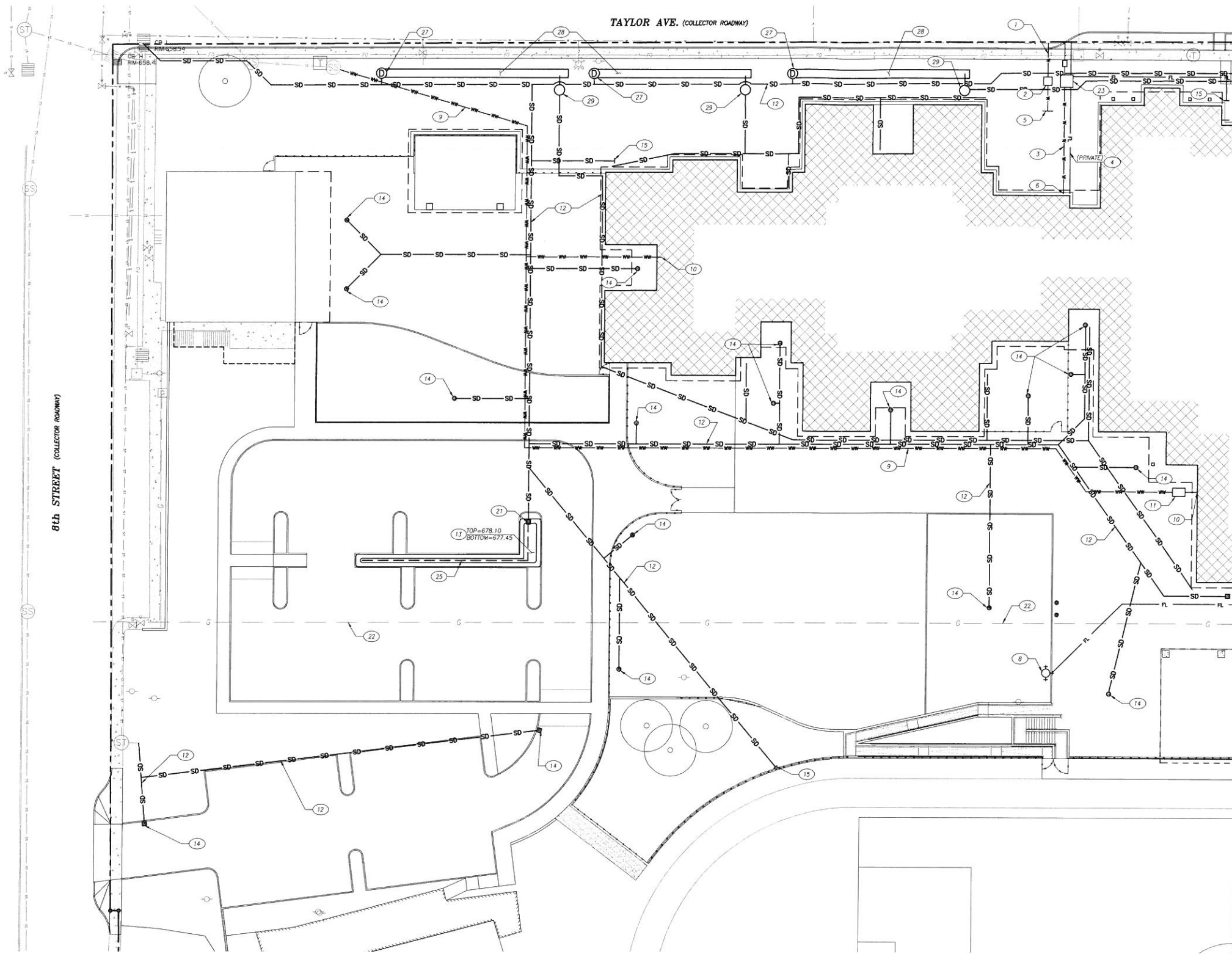
Revisions:  
 ▲  
 ▲  
 ▲

Drawing Title:  
**EXISTING CONDITIONS  
 & DEMOLITION PLAN**

Date: 11-7-2016 Drawn By: MD

Revised Date: Project No. 16-204

Stamp:  
  
**C1.10**  
 of  
 BLRB ARCHITECTS, P.S.



**UTILITY NOTES**

1. THE LOCATION OF EXISTING UNDERGROUND UTILITIES ARE SHOWN IN AN APPROXIMATE WAY ONLY AND HAVE NOT BEEN INDEPENDENTLY VERIFIED BY THE OWNER OR ITS REPRESENTATIVE. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK, AND AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY THE CONTRACTOR'S FAILURE TO EXACTLY LOCATE AND PRESERVE ANY AND ALL UNDERGROUND UTILITIES. THE CONTRACTOR SHALL CONTACT UNDERGROUND SERVICE ALERT (USA) AT (800) 227-2600 TO INDICATE EXISTING UTILITIES AT LEAST 48 HOURS PRIOR TO BEGINNING WORK. THE CONTRACTOR SHALL TAKE PRECAUTIONARY MEASURES TO PROTECT THESE UTILITIES. THE CONTRACTOR SHALL DO NO EXCAVATION UNTIL ALL UTILITY AGENCIES AND THE CITY HAVE BEEN NOTIFIED AND HAVE BEEN GIVEN THE OPPORTUNITY TO MARK THEIR FACILITIES IN THE FIELD.
2. AT THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE LOCATION, ELEVATION AND MATERIAL TYPE FOR ALL EXISTING UNDERGROUND UTILITIES ON SITE ACROSS THE SITE AND AT THE INDICATED POINTS OF CONNECTION. IF THE EXISTING CONDITIONS DIFFER FROM THAT SHOWN ON THE PLAN THE CONTRACTOR SHALL NOTIFY BRANCH ENGINEERING, INC. IMMEDIATELY. THE CONTRACTOR SHALL VERIFY THAT THE NEW UTILITY SERVICE WILL MEET THE INDICATED PIPE SLOPES.
3. SITE PLUMBING SHALL CONFORM TO THE OREGON PLUMBING SPECIALTY CODE AND MANUFACTURER'S SPECIFICATIONS.
4. ALL WORK WITHIN PUBLIC RIGHT-OF-WAY SHALL BE PER LAKE COUNTY PUBLIC WORKS REQUIREMENTS. CONTRACTOR SHALL OBTAIN COUNTY PERMITS FOR WORK WITHIN RIGHT-OF-WAY.
5. ANY UTILITY COMPANIES WORKING IN THE RIGHT-OF-WAY WILL NEED TO OBTAIN A SEPARATE PERMIT FROM LAKE COUNTY.

8th STREET (COLLECTOR ROADWAY)

TAYLOR AVE. (COLLECTOR ROADWAY)

MATCH LINE - SEE SHEET C2.20

NOT FOR CONSTRUCTION  
SUBJECT TO AGENCY REVIEW

**SITE REVIEW PACKAGE**

**SLSD NEW ELEMENTARY**

Project Address

**BLRB architects**

TACOMA SPOKANE PORTLAND BEND

BLRB



Civil • Transportation  
Structural • Geotechnical  
SURVEYING  
2010 NE Street, Bend, OR 97707  
P: 541.326.9633  
www.branchengineering.com  
SINCE 1977

Revisions:



Drawing Title:  
**UTILITY PLAN**

Date: 11-7-2016 Drawn By: MD

Revised Date: Project No: 16-204

Stamp: Sheet No:



**C2.10**

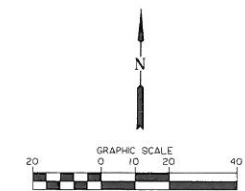
BLRB ARCHITECTS, P.S.

**LEGEND**

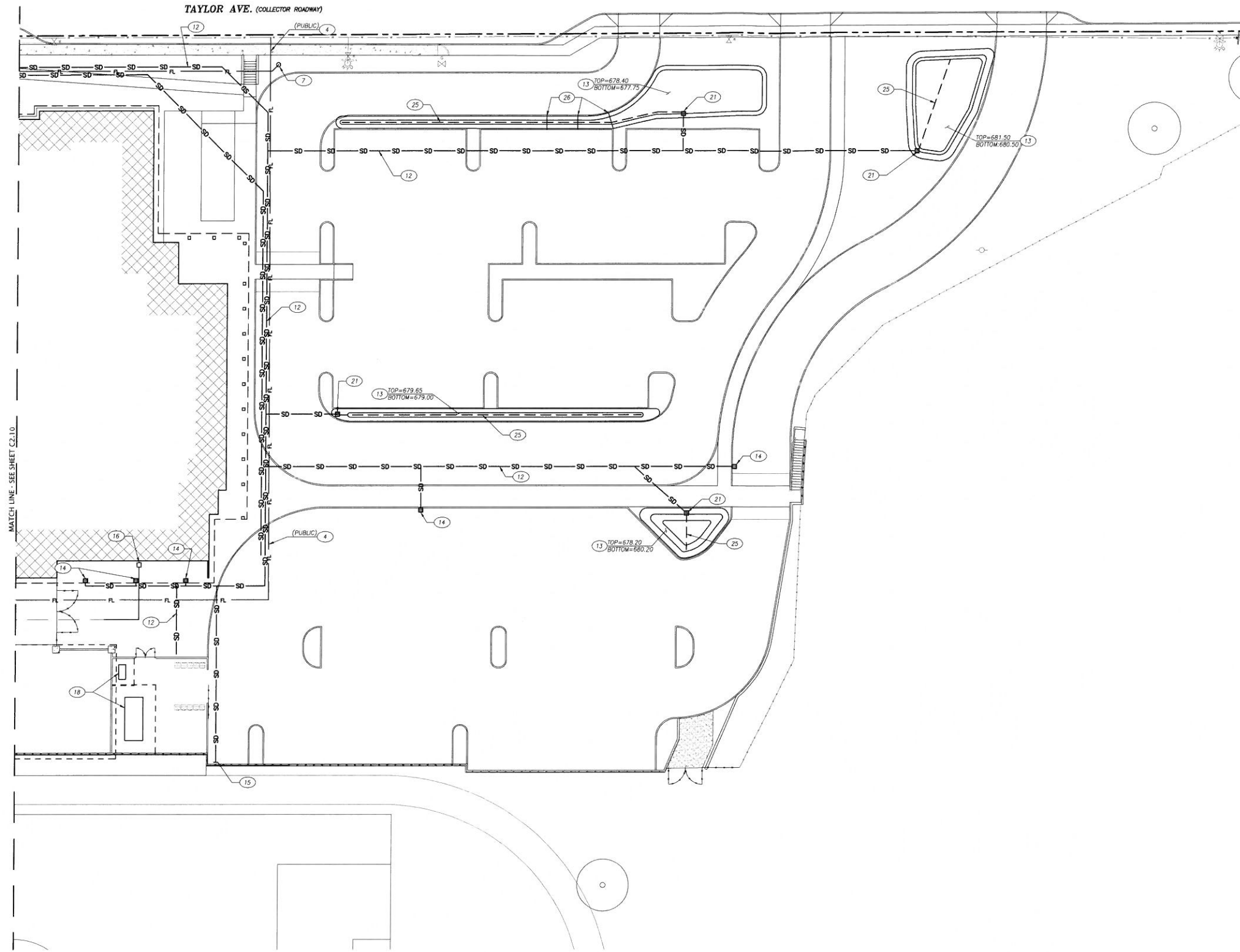
— G —	PROPERTY LINE	---	PROPOSED EASEMENT
— G —	EXISTING GAS LINE	---	PROPOSED FENCE
— W —	EXISTING WATER LINE	---	PROPOSED WATER PIPE
— SW —	EXISTING STORM WATER LINE	---	PROPOSED FIRE LINE
— HW —	EXISTING WASTEWATER LINE	---	PROPOSED STORM PIPE
— E —	EXISTING TELEPHONE LINE	---	PROPOSED WASTEWATER PIPE
— E —	EXISTING UNDERGROUND POWER LINE	---	PROPOSED FIRE HYDRANT
— FO —	EXISTING FIBER OPTIC LINE	---	PROPOSED CATCH BASIN
—	EXISTING FIRE HYDRANT	—	PROPOSED AREA DRAIN
—	EXISTING WATER VALVE	—	PROPOSED STORM MANHOLE
—	EXISTING CATCH BASIN	—	PROPOSED WASTEWATER MANHOLE
—	EXISTING STORM MANHOLE	—	PROPOSED BUILDING
—	EXISTING WASTEWATER MANHOLE	—	PROPOSED GRAVEL
—	EXISTING TELEPHONE RISER	—	PROPOSED CONCRETE PAVING
—	EXISTING TELEPHONE MANHOLE		
—	EXISTING GAS VALVE		
—	EXISTING GAS METER		
—	EXISTING POWER POLE		

**NOTES**

- |  |   |
|--|---|
| 1 NEW WATER SERVICE METER.                                 | 16 NEW GAS METER.   |
| 2 NEW IRRIGATION BACKFLOW DEVICE.                          | 17 LOW VOLTAGE/COMMUNICATION SERVICE VAULT.   |
| 3 DOMESTIC WATERLINE. PROVIDE 36" MINIMUM COVER OVER PIPE. | 18 BACKUP GENERATOR, TRANSFORMER, MECHANICAL EQUIPMENT.   |
| 4 6" FIRE LINE. PROVIDE 36" MINIMUM COVER OVER PIPE.       | 19 DOWNSPOUT COLLECTION POINT.  |
| 5 SERVICE TO IRRIGATION SYSTEM.                            | 20 FOUNDATION DRAIN CONNECTION WITH CHECK VALVE.  |
| 6 WATER CONNECTION POINT TO BUILDING.                      | 21 FLOW CONTROL INLET STRUCTURE.  |
| 7 FDC LOCATION.  | 22 EXISTING GAS LINE MAY NEED TO BE REPLACED. COORDINATE SERVICE WITH NW NATURAL.                               |
| 8 NEW PUBLIC FIRE HYDRANT.                                 | 23 NEW VAULT TO HOLD DOMESTIC DOUBLE CHECK VALVE AND DETECTOR DOUBLE CHECK VALVE FOR FIRE SERVICE.              |
| 9 NEW WASTEWATER PIPE @ 1% SLOPE UNLESS NOTED OTHERWISE.   | 24 STORM PIPE SHALL CONNECT TO BACK OF ENTRY CATCH BASIN. WORK SHALL BE COORDINATED WITH CITY IF COTTAGE GROVE. |
| 10 WASTEWATER CONNECTION TO BUILDING.                      | 25 4" PERFORATED PIPE.  |
| 11 NEW GREASE INTERCEPTOR.                                 | 26 WALLED BERM IN STORM FACILITY.   |
| 12 STORMWATER PIPE.  | 27 FLOW CONTROL MANHOLE CONNECTED TO SOMKAGE TRENCH.  |
| 13 STORMWATER TREATMENT FACILITY.                          | 28 SOMKAGE TRENCH TO COLLECT ROOF RUNOFF.   |
| 14 STORMWATER CATCH BASIN/AREA DRAIN.                      | 29 SEDIMENT BASIN.  |
| 15 FOUNDATION DRAIN CONNECTION.                            |   |



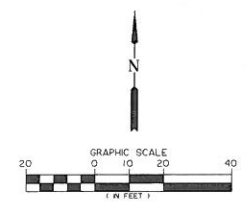
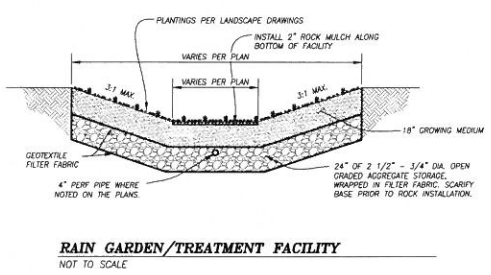
2:3016116-204-SLD - Exam - Submit (branchengineering) - 10:28 AM 11/17/2016 9:10 AM 10/11/2016



**LEGEND**

— G —	EXISTING GAS LINE	- - - - -	PROPOSED EASEMENT
— W —	EXISTING WATER LINE	- - - - -	PROPOSED FENCE
- - - - -	EXISTING STORM WATER LINE	- - - - -	PROPOSED WATER PIPE
- - - - -	EXISTING WASTEWATER LINE	- - - - -	PROPOSED FIRE LINE
- - - - -	EXISTING TELEPHONE LINE	- - - - -	PROPOSED STORM PIPE
- - - - -	EXISTING UNDERGROUND POWER LINE	- - - - -	PROPOSED WASTEWATER PIPE
- - - - -	EXISTING FIBER OPTIC LINE	- - - - -	PROPOSED FIRE HYDRANT
⊙	EXISTING FIRE HYDRANT	⊙	PROPOSED CATCH BASIN
⊙	EXISTING WATER VALVE	⊙	PROPOSED STORM MANHOLE
⊙	EXISTING CATCH BASIN	⊙	PROPOSED WASTEWATER MANHOLE
⊙	EXISTING STORM MANHOLE	⊙	PROPOSED BUILDING
⊙	EXISTING WASTEWATER MANHOLE	⊙	PROPOSED GRAVEL
⊙	EXISTING TELEPHONE RISER	⊙	PROPOSED CONCRETE PAVING
⊙	EXISTING TELEPHONE MANHOLE		
⊙	EXISTING GAS VALVE		
⊙	EXISTING GAS METER		
⊙	EXISTING POWER POLE		

- NOTES**
1. NEW WATER SERVICE METER.
  2. NEW IRRIGATION BACKFLOW DEVICE.
  3. DOMESTIC WATERLINE. PROVIDE 36" MINIMUM COVER OVER PIPE.
  4. 6" FIRE LINE. PROVIDE 36" MINIMUM COVER OVER PIPE.
  5. SERVICE TO IRRIGATION SYSTEM.
  6. WATER CONNECTION POINT TO BUILDING.
  7. FDC LOCATION.
  8. NEW PUBLIC FIRE HYDRANT.
  9. NEW WASTEWATER PIPE @ 1% SLOPE UNLESS NOTED OTHERWISE.
  10. WASTEWATER CONNECTION TO BUILDING.
  11. NEW GREASE INTERCEPTOR.
  12. STORMWATER PIPE.
  13. STORMWATER TREATMENT FACILITY.
  14. STORMWATER CATCH BASIN/AREA DRAIN.
  15. FOUNDATION DRAIN CONNECTION.
  16. NEW GAS METER.
  17. LOW VOLTAGE/COMMUNICATION SERVICE VAULT.
  18. BACKUP GENERATOR, TRANSFORMER, MECHANICAL EQUIPMENT.
  19. DOWNSPOUT COLLECTION POINT.
  20. FOUNDATION DRAIN CONNECTION WITH CHECK VALVE.
  21. FLOW CONTROL INLET STRUCTURE.
  22. EXISTING GAS LINE. MAY NEED TO BE REPLACED. COORDINATE SERVICE WITH NW MATERIAL.
  23. NEW VAULT TO HOLD DOMESTIC DOUBLE CHECK VALVE AND DETECTOR DOUBLE CHECK VALVE FOR FIRE SERVICE.
  24. STORM PIPE SHALL CONNECT TO BACK OF ENTRY CATCH BASIN. WORK SHALL BE COORDINATED WITH CITY IF COTTAGE GROVE.
  25. 4" PERFORATED PIPE.
  26. WALLED BERM IN STORM FACILITY.
  27. FLOW CONTROL MANHOLE CONNECTED TO SOAKAGE TRENCH.
  28. SOAKAGE TRENCH TO COLLECT ROOF RUNOFF.
  29. SEDIMENT BASIN.



NOT FOR CONSTRUCTION  
SUBJECT TO AGENCY REVIEW

**SITE REVIEW PACKAGE**

**SLSD NEW ELEMENTARY**

Project Address

**BLRB architects**  
TACOMA SPOKANE PORTLAND BEND  
BLRB.com

**Branch ENGINEERING**  
CIVIL • TRANSPORTATION  
STRUCTURAL • GEOTECHNICAL  
SURVEYING  
1100 NW River Street, Suite 200  
Portland, OR 97207  
503.255.1100  
www.branchengineering.com

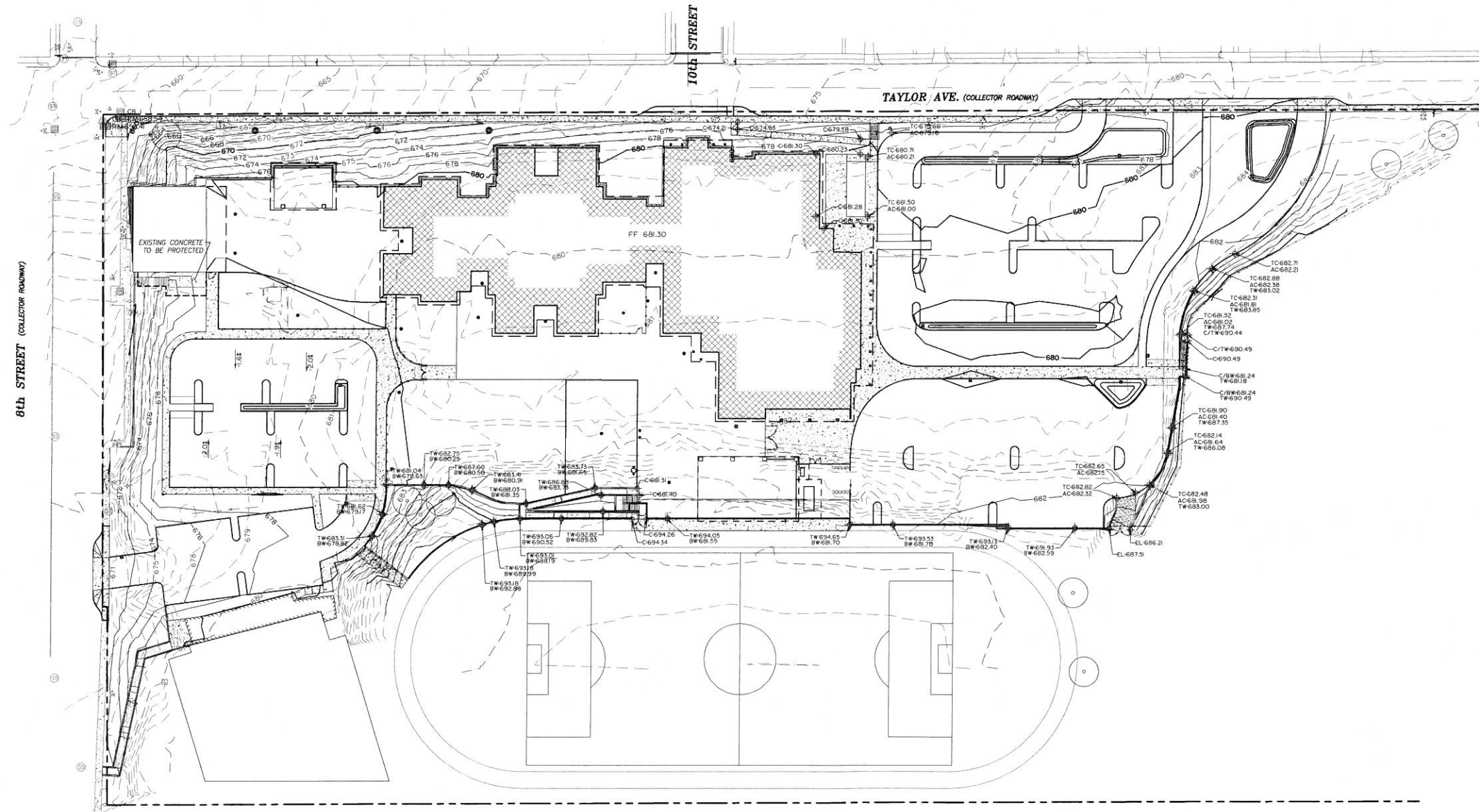
Revisions:  
▲  
▲  
▲

Drawing Title:  
**UTILITY PLAN**

Date: 11-7-2016	Drawn By: MD
Revised Date:	Project No. 16-204
Stamp: <b>REGISTERED PROFESSIONAL ENGINEER</b> MICHAN PATTERSON #191578 Date: 2016.11.03 15:09:39 -0700 OREGON	Sheet No. <b>C2.20</b>

BLRB ARCHITECTS, P.S.

Z:\WORK\16-204-SLSD-School\Branch\Drawings\16-204-SLSD.dwg 11/23/2016 10:16 AM MDP



LEGEND	
	PROPERTY LINE
	EXISTING FIRE HYDRANT
	EXISTING WATER VALVE
	EXISTING CATCH BASIN
	EXISTING STORM MANHOLE
	EXISTING WASTEWATER MANHOLE
	EXISTING TELEPHONE RISER
	EXISTING TELEPHONE MANHOLE
	EXISTING GAS VALVE
	EXISTING GAS METER
	EXISTING POWER POLE
	EXISTING CONTOUR LINE
	PROPOSED EASEMENT
	PROPOSED FIRE HYDRANT
	PROPOSED CATCH BASIN
	PROPOSED AREA DRAIN
	PROPOSED STORM MANHOLE
	PROPOSED WASTEWATER MANHOLE
	PROPOSED BUILDING
	EXISTING TREE TO REMAIN
	PROPOSED CONTOUR
	TW-688.28 PROPOSED TOP OF WALL GRADE
	BW-681.53 PROPOSED BOTTOM OF WALL GRADE
	TC-681.53 PROPOSED TOP OF CURB GRADE
	AC-681.53 PROPOSED ASPHALT GRADE
	C-681.53 PROPOSED CONCRETE GRADE

NOT FOR CONSTRUCTION  
SUBJECT TO AGENCY REVIEW

**SITE REVIEW PACKAGE**

**SLSD NEW ELEMENTARY**

Project Address

**BLRB architects**

TACOMA SPOKANE PORTLAND BEND

BLRB.com



Revisions:

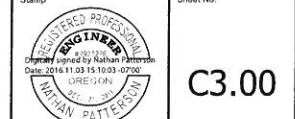
▲	
▲	
▲	

Drawing Title:  
**GRADING PLAN**

Date: 11-7-2016 Drawn By: MD/NP

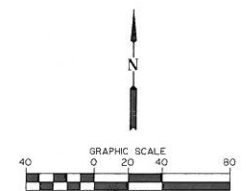
Revised Date: Project No. 16-204

Stamp: Sheet No.



**C3.00**

BLRB ARCHITECTS, P.S.



D:\WORK\16-204\_SLSL\_School\BranchArchitects\16-204\_Site\_Plan.dwg 11/22/2016 9:16 AM MATT ISA

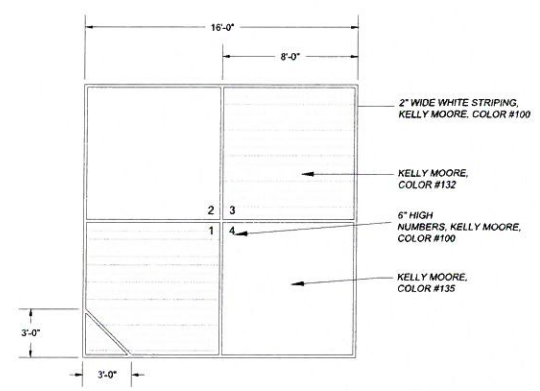
**GENERAL STRIPING NOTES:**

1. PAINT COLORS INSIDE WHITE LINES AS DETAILED. REPAINT WHITE LINES AFTER COLOR COAT IS APPLIED. THREE COATS MINIMUM.
2. APPLY THREE COATS OF COLORED PAINT MINIMUM.
3. FINAL COAT OF ALL LINES AND FIELD PAINT TO BE SLIP AND SKID RESISTANT. BONDEX SKID-TEX OR EQ. TO BE USED.

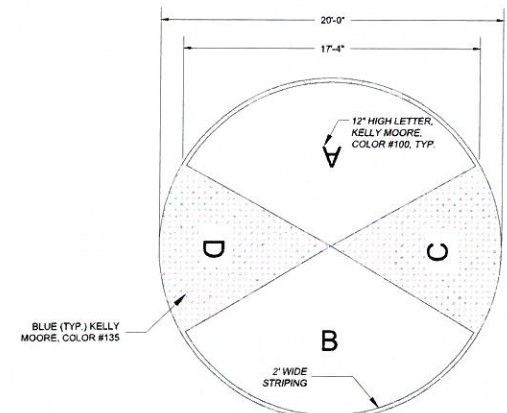
**KELLY MOORE TRAFFIC LINE PAINT, 1450 SERIES, LATEX PAINT.**

**COLORS:**  
 WHITE = 100  
 BLACK = 134  
 YELLOW = 131  
 GREEN = 1452-133  
 BLUE = 135  
 RED = 132

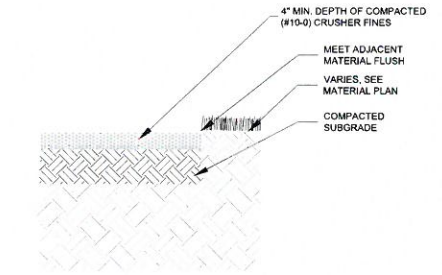
**GENERAL STRIPING NOTES**  
 SCALE: N.T.S. **1**  
 L.02



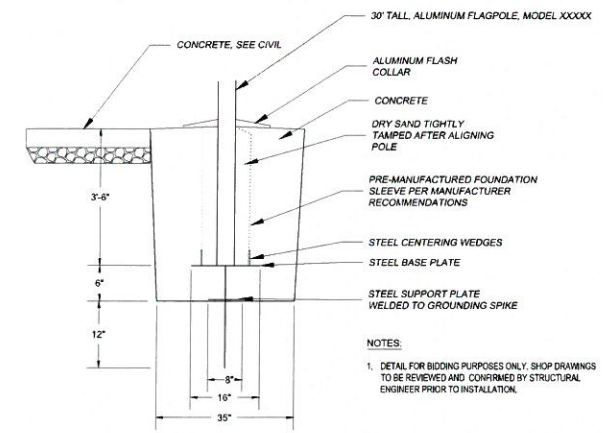
**FOUR SQUARE STRIPING**  
 SCALE: N.T.S. **2**  
 L.02



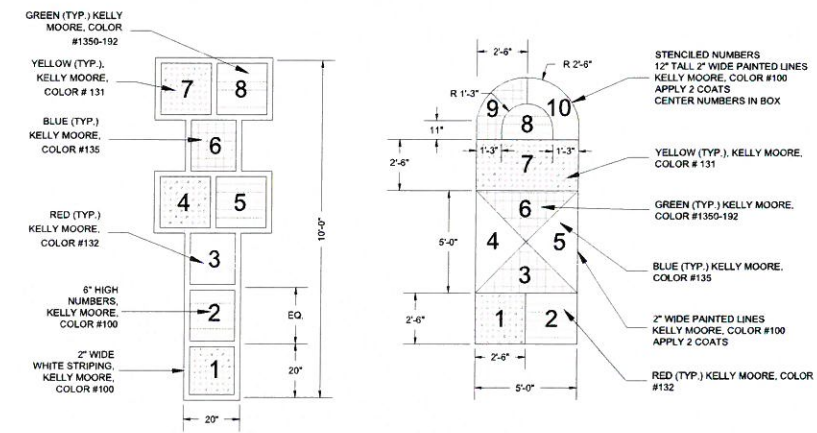
**GAME COURT STRIPING: TYPE #1**  
 SCALE: N.T.S. **3**  
 L.02



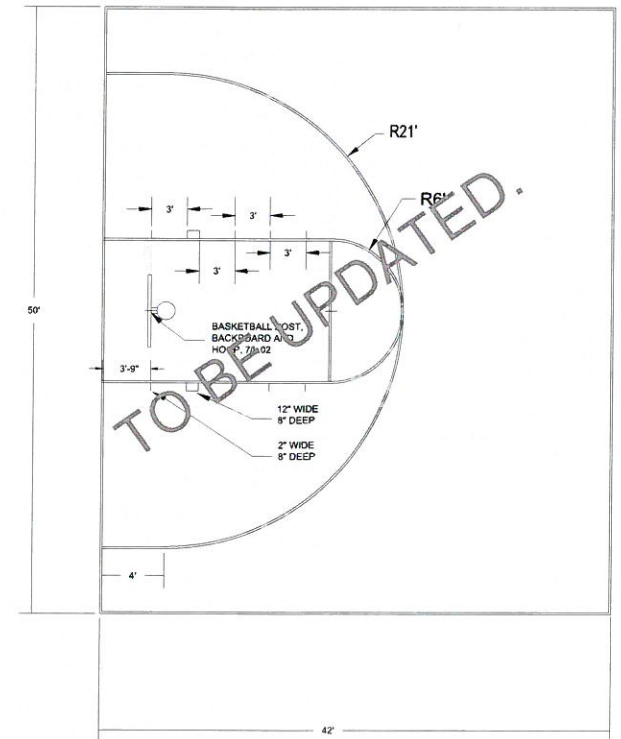
**CRUSHER FINES SURFACE**  
 SCALE: N.T.S. **4**  
 L.02



**FLAGPOLE FOOTING**  
 SCALE: N.T.S. **5**  
 L.02

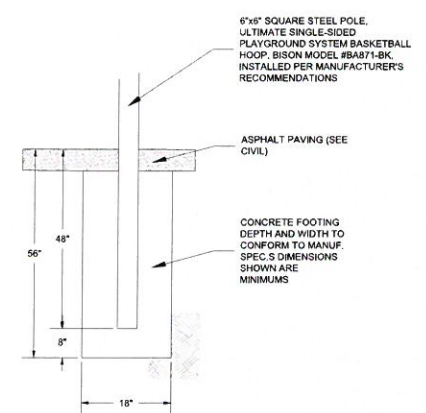


**HOPSCOTCH STRIPING**  
 SCALE: N.T.S. **7**  
 L.02

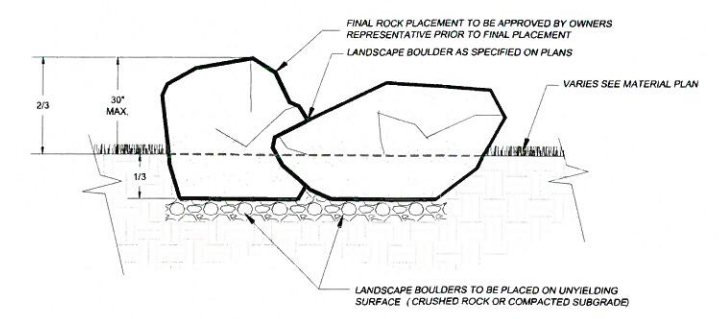


NOTE: ALL PLAY LINES ARE 2\"/>

**BASKETBALL HALF COURT STRIPING**  
 SCALE: N.T.S. **6**  
 L.2.0



**BASKETBALL POST FOOTING**  
 SCALE: N.T.S. **7**  
 L.02



ROCKS WITH FRACTURED, BROKEN OR SHARP EDGES ARE NOT TO BE USED. OWNER'S REPRESENTATIVE TO APPROVE ROCKS PRIOR TO PLACEMENT.

**BOULDER**  
 SCALE: N.T.S. **8**  
 L.02

**SITE REVIEW PACKAGE**  
 NOT FOR CONSTRUCTION

**SLSD NEW ELEMENTARY**  
 Project Address

**[JBD]JBattleson Design**  
 Landscape Architecture • Land Planning • Urban Design  
 jrbattleson@battlesondesign.com | 541-666-0745

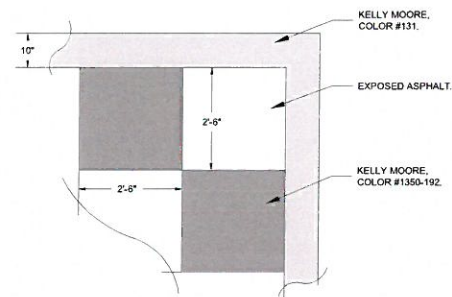
Revisions:  
 ▲  
 ▲  
 ▲

Drawing Title:  
**Construction Details**

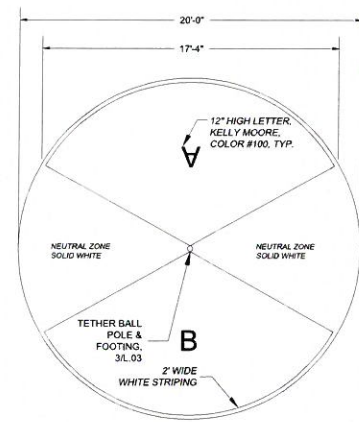
Date:	11-07-2016	Drawn By:	Author
Revised Date:		Project No.:	16.12B
Stamp:		Sheet No.:	

**L.02**

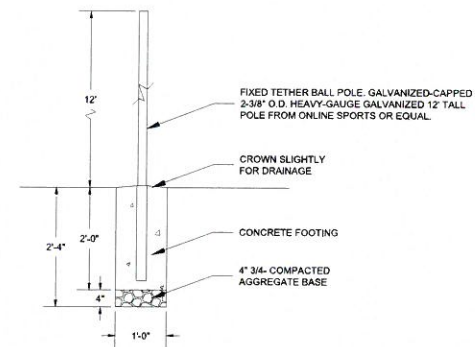
BLRB ARCHITECTS, P.S.



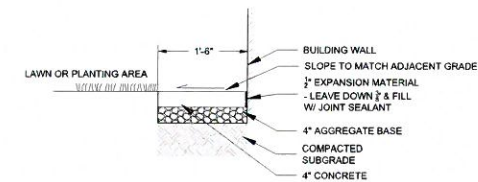
**HUMAN CHESS BOARD**  
SCALE: N.T.S. **1**  
L.03



**TETHER BALL STRIPING**  
SCALE: N.T.S. **2**  
L.03



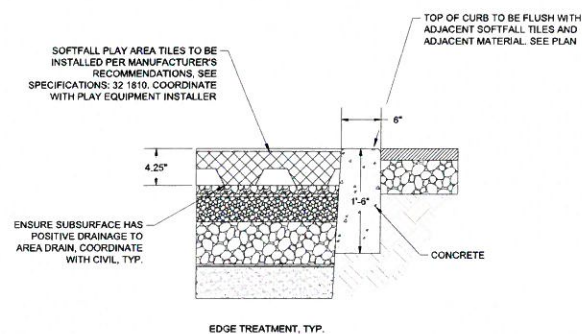
**TETHER BALL POLE & FOOTING**  
SCALE: N.T.S. **3**  
L.03



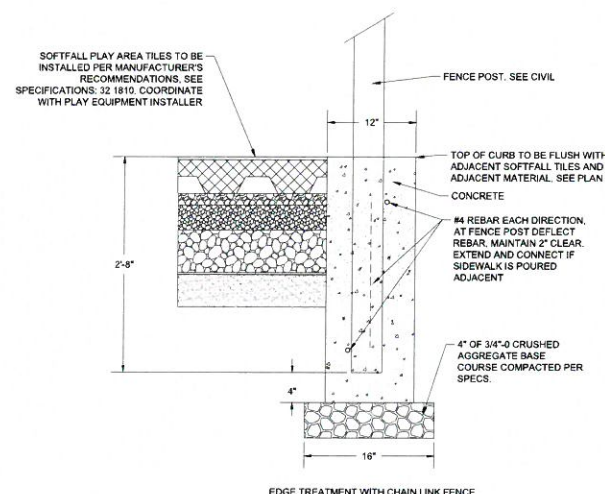
**MOW STRIP ALONG BUILDING**  
SCALE: N.T.S. **4**  
L.03

**GENERAL PLAYGROUND CURB NOTES:**

1. THE TOP EDGE TO BE PROVIDED WITH A 1" METAL TOOLED RADIUS ON ALL EXPOSED EDGES.
2. PROVIDE EXPANSION JOINTS AT CURVES, TANGENTS, AND CORNERS. SPACING PER SPECS.
3. BASE OF CURB TO REST ON COMPACTED FILL AS SHOWN.
4. CONCRETE COMPRESSIVE STRENGTH SHALL BE PER SPECS.
5. PROVIDE SMOOTH AND FLUSH CONNECTIONS TO ALL ADJOINING CURBS AND PAVING, TYPICAL.
6. ALL WORK SHALL BE COMPLETED IN COORDINATION WITH PLAY EQUIPMENT AND SOFT FALL MATERIAL SUPPLIER / INSTALLER.



**PLAYGROUND CURB**  
SCALE: N.T.S. **4**  
L.03



**SITE REVIEW PACKAGE**

NOT FOR CONSTRUCTION

**SLSD NEW ELEMENTARY**

Project Address

**[JBD] JBattleson Design**

Landscape Architecture • Land Planning • Urban Design  
jbattleson@battlesondesign.com | 541 • 968 • 0145

Revisions:



Drawing Title:

**Construction Details**

Date: 11-07-2016

Drawn By: Author

Revised Date:

Project No. 16,12B

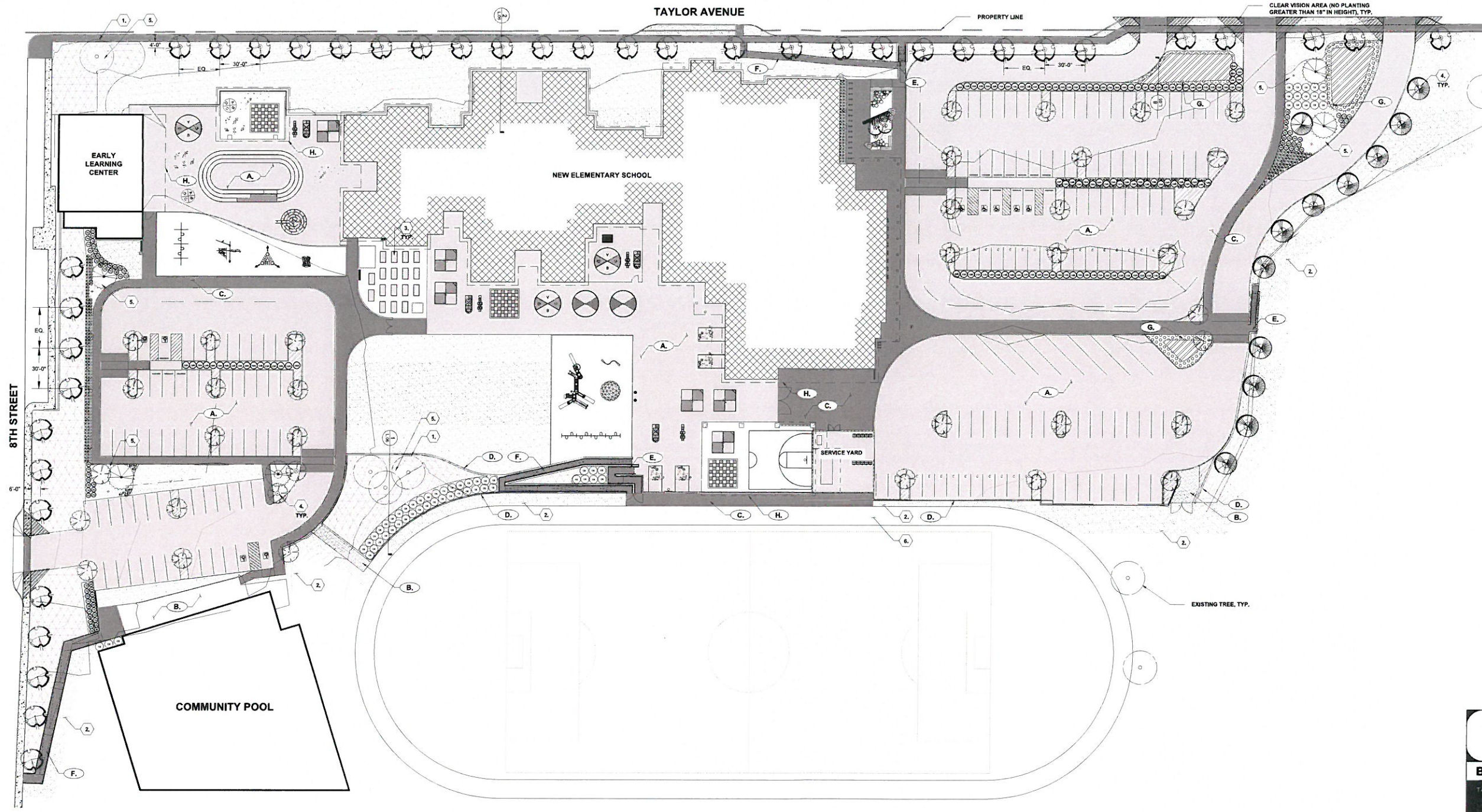
Stamp



Sheet No.

**L.03**

BLRB ARCHITECTS, P.S.



**GENERAL PLANTING NOTES:**

1. THE PLAN SHOWN IS PRELIMINARY AND INTENDED TO SHOW THE WORK WILL BE COMPLIANT WITH LOCAL ZONING AND DEVELOPMENT CODES.
2. ALL PROPOSED PLANTING BEDS WILL CONTAIN A MINIMUM OF 75% COVERAGE.
3. ALL PLANTING BEDS SHALL RECEIVE SOIL CONDITIONER (COMPOST).
4. ALL GROUND COVER PLANTS WILL BE SPACED A MINIMUM OF 12" ON CENTER.
5. ALL STORMWATER PLANTING SHALL BE WATER TOLERANT NATIVE PLANTS AND/OR NATIVE GRASSES.
6. ALL PLANTING BEDS SHALL BE MULCHED. SEE PLANTING NOTES ON SHEET L.03.
7. ALL DECIDUOUS TREES SHALL BE A MINIMUM OF 2" O.CAL. AND A MINIMUM AT TIME OF PLANTING.
8. ALL SHRUBS SHALL BE A MINIMUM OF 5 GAL. AT TIME OF PLANTING.
9. THE PROPOSED LANDSCAPE AREAS SHALL BE IRRIGATED USING A PERMANENT AUTOMATIC IRRIGATION SYSTEM PER THE CITY OF COTTAGE GROVE STANDARDS.
10. APPLICATION OF HERBICIDES SHALL BE COMPLETED PER THE DISTRICT'S STANDARDS AND PROTOCOLS. INQUIRE WITH SLSD PRIOR TO APPLICATION OF ANY HERBICIDES OR OTHER POTENTIALLY NOXIOUS CHEMICALS.

**SITE: LANDSCAPE CALCULATIONS (ZONE R1):**

TOTAL SITE AREA	-18.8 A.C
LANDSCAPE REQUIRED (10%)	1.8 A.C. (10%)
LANDSCAPE PROVIDED	-2.0 A.C. (10.6%)

**PARKING AREAS: LANDSCAPE CALCULATIONS:**

TOTAL SURFACE AREA	2.43 A.C
LANDSCAPE AREA REQUIRED (10%)	.24 A.C. (10%)
LANDSCAPE AREA PROVIDED	.36 A.C. (14%)
TREES REQUIRED (1/1000 sq. ft.)	35 TREES
TREES PROVIDED	41 TREES

**PLANT SCHEDULE:**

SYM.	QTY	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>TREES</b>						
2	-		ACER CIRCINATUM (MULTI-STEM)	VINE MAPLE	8" HT.	AS SHOWN
12	-		ACER MACROPHYLLUM	BIGLEAF MAPLE	2" CAL.	AS SHOWN
37	-		ACER RUBRUM	RED MAPLE	2" CAL.	AS SHOWN
38	-		ALNUS RHOMBIFOLIA	WHITE ALDER	2" CAL.	AS SHOWN
5	-		TSUGA MERTENSIANA	MOUNTAIN HEMLOCK	8" HT.	AS SHOWN
7	-		TSUGA MERTENSIANA	MOUNTAIN HEMLOCK	12" HT.	AS SHOWN
<b>SHRUBS</b>						
xx	cs		CORNUS SERICEA	RED TWIG DOGWOOD	5 GAL.	AS SHOWN
xx	csk		CORNUS SERICEA 'KELSEY'	RED OSIER DOGWOOD	5 GAL.	AS SHOWN
xx	-		POLYSTICHUM MUNITUM	SWORD FERN	5 GAL.	PLANTED 24" O.C.
xx	fo		RODDODENDRON AZALEA	WESTERN AZALEA	5 GAL.	AS SHOWN
<b>GRASSES / GROUNDCOVER</b>						
xx	-		ARCTOSTAPHYLIS UVA-URSII	KINKKINICK	1 GAL.	PLANTED 12" O.C.
xx	ps		PENNISETUM ALOPECUROIDES	FOUNTAIN GRASS	3 GAL.	AS SHOWN
<b>WETLAND + DRAINAGE CORRIDOR PLANTING</b>						
<b>ZONE 1</b>						
xx	-		CORNUS SERICEA 'KELSEY'	RED OSIER DOGWOOD	5 GAL.	RANDOMLY PLACED EQUIDISTANT
xx	-		AQUILEGIA FORMOSA	WESTERN COLUMBINE	1 GAL.	
xx	-		SPIRAEA DOUGLASSII	DOUGLAS SPIRAEA	5 GAL.	
xx	-		MAHONIA REPENS	CREeping OREGON GRAPE	5 GAL.	

**PLANT SCHEDULE CONT.:**

SYM.	QTY	ABRV.	BOTANICAL NAME	COMMON NAME	SIZE	SPACING
<b>WETLAND + DRAINAGE CORRIDOR PLANTING</b>						
<b>ZONE 2</b>						
xx	-		ACHILLEA MOONSHINE	YELLOW YARROW	1 GAL.	RANDOMLY PLACED EQUIDISTANT
xx	-		HELICTOTRICHON SEMPERVIRENS	BLUE OAT GRASS	1 GAL.	
xx	-		MAHONIA AQUIFOLIUM	OREGON GRAPE	5 GAL.	
xx	-		MISCANTHUS 'LITTLE KITTEN'	LITTLE KITTEN MAIDEN GRASS	1 GAL.	
xx	-		PENNISETUM 'HAMELY'	DWARF FOUNTAIN GRASS	1 GAL.	

- SEED MIXES**
- SEEDED LAWN - THREE-WAY PERENNIAL RYE GRASS BLEND. INSTALL PER MANUFACTURERS RECOMMENDATIONS.

**SITE PLANTING AND CONSTRUCTION NOTES:**

- DESCRIPTION**
1. TREES TO BE PRESERVED. SEE TREE PROTECTION DETAIL. 1A.3
  2. LAWN AND IRRIGATION TO BE RESTORED TO EXISTING CONDITION UPON COMPLETION OF WORK.
  3. GARDEN PLANTER BOX. FILL WITH PLANTING MEDIUM (AMENDED SOIL) PER MANUFACTURER'S RECOMMENDATIONS.
  4. 36" DIA. MULCH RING OR MIN 18" FROM OUTER EDGE OF TREE TRUNK (ALL TREES LOCATED WITHIN LAWN).
  5. MULCH PER GENERAL PLANTING NOTES #11.
  6. REMOVE VEGETATION FROM TRACK WITH APPLICATION OF OWNER APPROVED HERBICIDE AND APPLICATION PROTOCOLS. ENSURE ALL EDGES ARE DEFINED AND UNIFORM. TRACK WIDTH SHALL BE REINSTATED TO ORIGINALLY INSTALLED DIMENSION WHEN COMPLETE.

**DRAWING NOTES:**

- WORK BY OTHERS**
- A. ASPHALT PAVING. SEE CIVIL.
  - B. PAVING. SEE CIVIL.
  - C. CONCRETE PAVING. SEE CIVIL.
  - D. SITE WALL. SEE CIVIL.
  - E. CONCRETE STAIRS. SEE CIVIL.
  - F. CONCRETE RAMP. SEE CIVIL.
  - G. STORMWATER STRUCTURE. SEE CIVIL.
  - H. EDGE OF ROOF. SEE ARCHITECTURE.

**DESIGN DEVELOPMENT PACKAGE**

**SLSD NEW ELEMENTARY**

Project Address

**BLRB architects**

TACOMA | SPOKANE | PORTLAND | BEND

612 S. 10th St.  
Spokane, WA 99201  
509.325.1234  
blrb.com

**[JBD] JBattleson Design**

Landscape Architecture • Land Planning • Urban Design  
jbattleson@jbbattleson.com | 541.498.4745

Revisions:



Drawing Title:

Planting Plan

Date:

11-07-2016

Drawn By:

JB

Revised Date:

Project No. 16.12B

Stamp:

Sheet No.



**L.04**

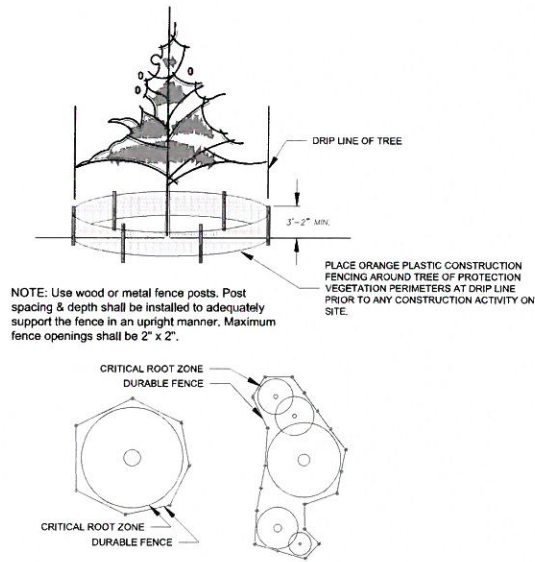
BLRB ARCHITECTS, P.S.



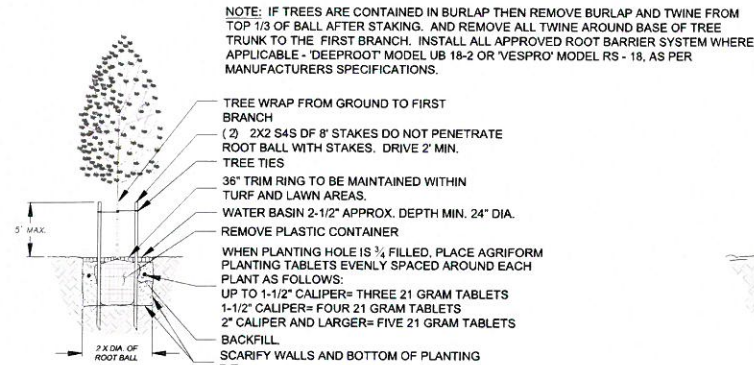


**PLANTING NOTES:**

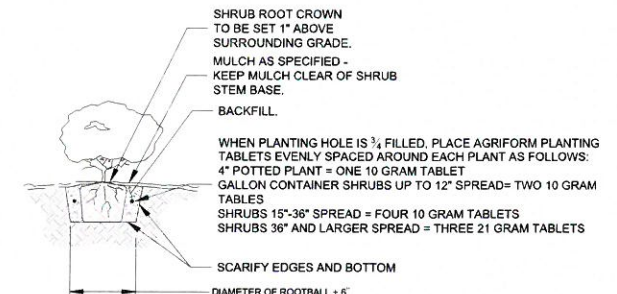
- REFER TO CIVIL ENGINEER'S UTILITY AND PRECISE GRADING PLANS FOR UTILITY LOCATIONS, AND FINAL GRADING. IF ACTUAL SITE CONDITIONS VARY FROM WHAT IS SHOWN ON THE LANDSCAPE ARCHITECT'S PLANS, THE CONTRACTOR SHALL CONTACT THE OWNER'S AUTHORIZED REPRESENTATIVE FOR DIRECTION AS TO HOW TO PROCEED.
- VERIFY LOCATIONS OF ALL PERTINENT SITE IMPROVEMENTS INSTALLED UNDER OTHER SECTIONS. IF ANY PART OF THIS PLAN CANNOT BE FOLLOWED DUE TO SITE CONDITIONS, CONTACT THE OWNER'S AUTHORIZED REPRESENTATIVE FOR INSTRUCTION PRIOR TO COMMENCING WORK.
- EXACT LOCATIONS OF PLANT MATERIALS SHALL BE REVIEWED BY THE OWNER'S AUTHORIZED REPRESENTATIVE IN THE FIELD PRIOR TO INSTALLATION. OWNER'S AUTHORIZED REPRESENTATIVE RESERVES THE RIGHT TO ADJUST PLANTS TO EXACT LOCATION IN FIELD.
- CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING ALL PLANT COUNTS AND SQUARE FOOTAGES. QUANTITIES ON PLANS TAKE PRECEDENCE OVER WRITTEN QUANTITIES.
- PROVIDE MATCHING FORMS AND SIZES FOR ALL PLANT MATERIAL WITHIN EACH SPECIES AND SIZE DESIGNATED ON THE DRAWINGS. PLANT MATERIAL SIZES SHALL COMPLY WITH AMERICAN STANDARDS FOR NURSERY STOCK.
- ALL PLANTS SHALL BE GROWN FOR THIS REGION OR SHALL BE ADEQUATELY CLIMATIZED.
- ALL AREAS WITHIN THE INDICATED PLANTING LIMITS OF WORK SHALL BE AMENDED TOPSOIL. PRIOR TO PLANTING, ALL PLANTING AREAS SHALL BE FINE GRADED AND RECEIVE SOIL PREPARATION.
- SCRAPE AND STOCKPILE TOPSOIL AFTER CLEARING AND GRUBBING.
- ALL NEW PLANTING BEDS SHALL RECEIVE 2" DEPTH SOIL CONDITIONER (COMPOST) TO AMEND SOIL.
- ALL SOIL CONDITIONER SHALL BE TILLED (INCORPORATED) INTO TOPSOIL A MIN. 6" DEPTH.
- PROVIDE A 3" LAYER SHREDDED HEMLOCK MULCH TO ALL NON-SEEDED PLANTING AREAS. MULCH TO BE APPROVED BY CLIENT'S REPRESENTATIVE PRIOR TO INSTALLATION.
- TREES SHALL BEAR SAME RELATION TO FINISH GRADE AS AT PLACE OF GROWTH.
- DO NOT MAKE SUBSTITUTIONS. IF SPECIFIED LANDSCAPE MATERIAL IS NOT OBTAINABLE, SUBMIT PROOF OF NON-AVAILABILITY FROM AT LEAST FIVE (5) SOURCES TO THE LANDSCAPE ARCHITECT, TOGETHER WITH PROPOSAL OF EQUIVALENT MATERIAL FOR FINAL APPROVAL.
- APPLY A PRE-EMERGENT HERBICIDE TO ALL PLANTING AREAS ONCE PRIOR TO INSTALLATION OF MULCH AND ONCE AFTER. NO PRE-EMERGENT SHALL BE USED IN SEEDED AREAS.
- PLANT ALL TREES A MINIMUM OF 5' FROM ANY ROOF DRAIN LINES. THE LANDSCAPE CONTRACTOR MUST VERIFY THE LOCATION OF ALL DRAIN LINES PRIOR TO COMMENCING WORK.
- THE INSTALLING CONTRACTOR WILL MAINTAIN/WARRANTEE PLANTING FOR ONE (1) YEAR STARTING FROM THE DATE OF PROJECT FINAL ACCEPTANCE. FOLLOWING THIS THE ONE YEAR PERIOD, ALL LANDSCAPE AND IRRIGATION WILL BE MAINTAINED BY THE OWNER.
- THERE SHALL BE NO FENCE, WALL, VEHICULAR PARKING, LANDSCAPING, BUILDING, STRUCTURE, OR ANY OTHER OBSTRUCTION TO VISION OTHER THAN A STREET SIGN POST, POLE (E.G. POWER, SIGNAL, OR LUMINAIRE POLE) OR TREE TRUNK (CLEAR OF BRANCHES AND FOLIAGE) WITHIN THE CLEAR VISION AREA BETWEEN THE HEIGHT OF TWO (2) FEET AND EIGHT (8) FEET ABOVE THE LEVEL OF THE CURB. IN CUT SECTIONS, EMBANKMENTS SHALL BE GRADED TO COMPLY WITH THESE REQUIREMENTS. (CITY OF DOTTAGE GROVE STANDARD)
- ALL PLANTING TO BE COMPLETED WHEN THE GROUND IS NOT FROZEN AND SOILS ARE PLIABLE BETWEEN THE MONTHS OF MARCH THROUGH JUNE AND SEPTEMBER THROUGH OCTOBER.



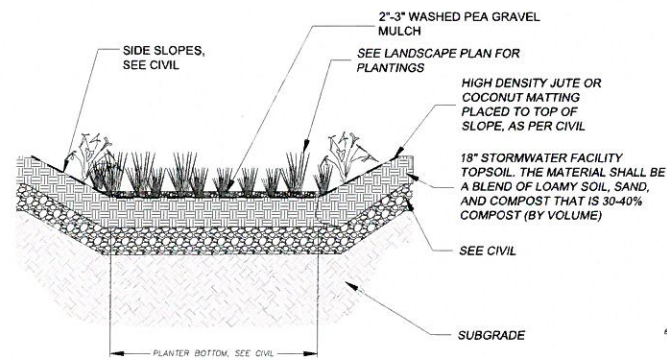
**TREE PROTECTION**  
SCALE: N.T.S. **1** L.05



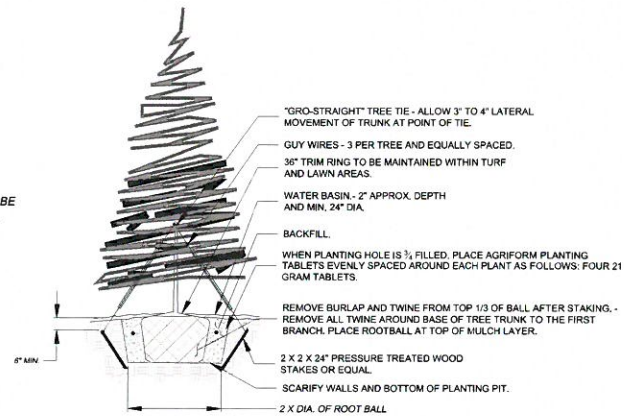
**DECIDUOUS TREE PLANTING**  
SCALE: N.T.S. **2** L.05



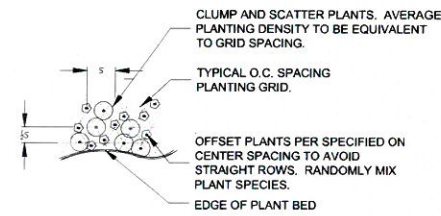
**SHRUB PLANTING**  
SCALE: N.T.S. **3** L.05



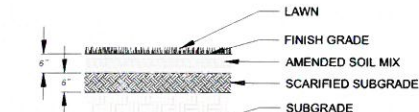
**STORMWATER DETENTION FACILITY**  
SCALE: N.T.S. **4** L.05



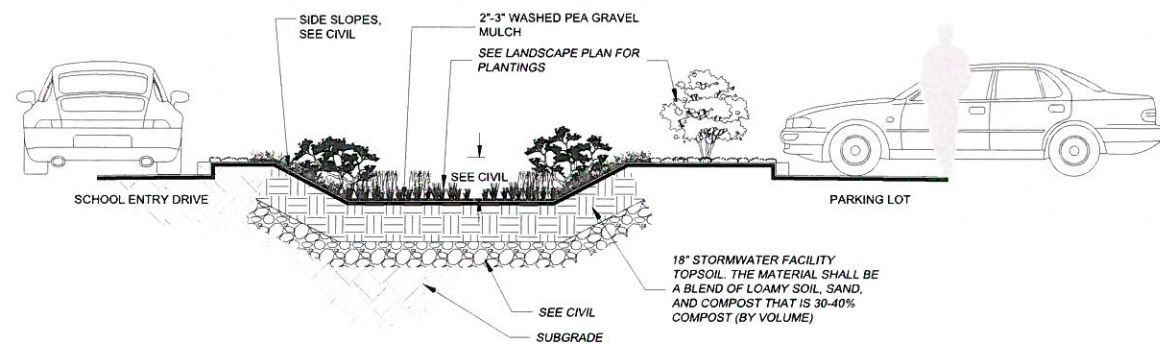
**CONIFER TREE PLANTING**  
SCALE: N.T.S. **5** L.05



**PERENNIAL & GRASS SPACING DETAIL**  
SCALE: N.T.S. **6** L.05



**LAWN**  
SCALE: N.T.S. **7** L.05



**SECTION: PARKING LOT**  
SCALE: N.T.S. **8** L.05

**DESIGN DEVELOPMENT PACKAGE**

**SLSD NEW ELEMENTARY**

Project Address

**BLRB architects**

TACOMA | SPOKANE | PORTLAND | BEND  
BLRB.com

**[JBD]JBattleson Design**  
Landscape Architecture • Land Planning • Urban Design  
jbattleson@battlesonanddesign.com | 541-998-0745

Revisions:

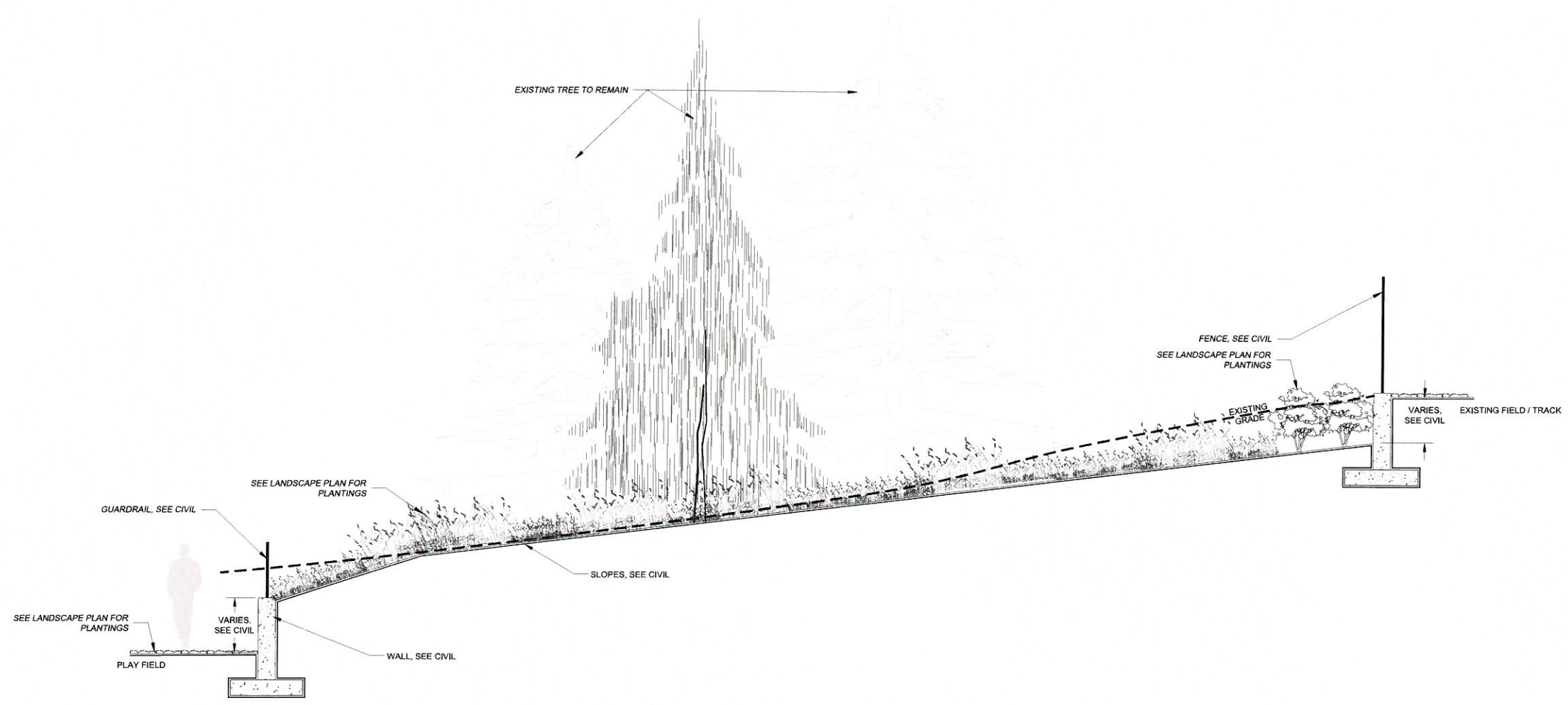

Drawing Title:  
**Sections & Details Plan**

Date:	11-07-2016	Drawn By:	JB
Revised Date:		Project No.:	16.12B

Stamp:	Sheet No.:
--------	------------

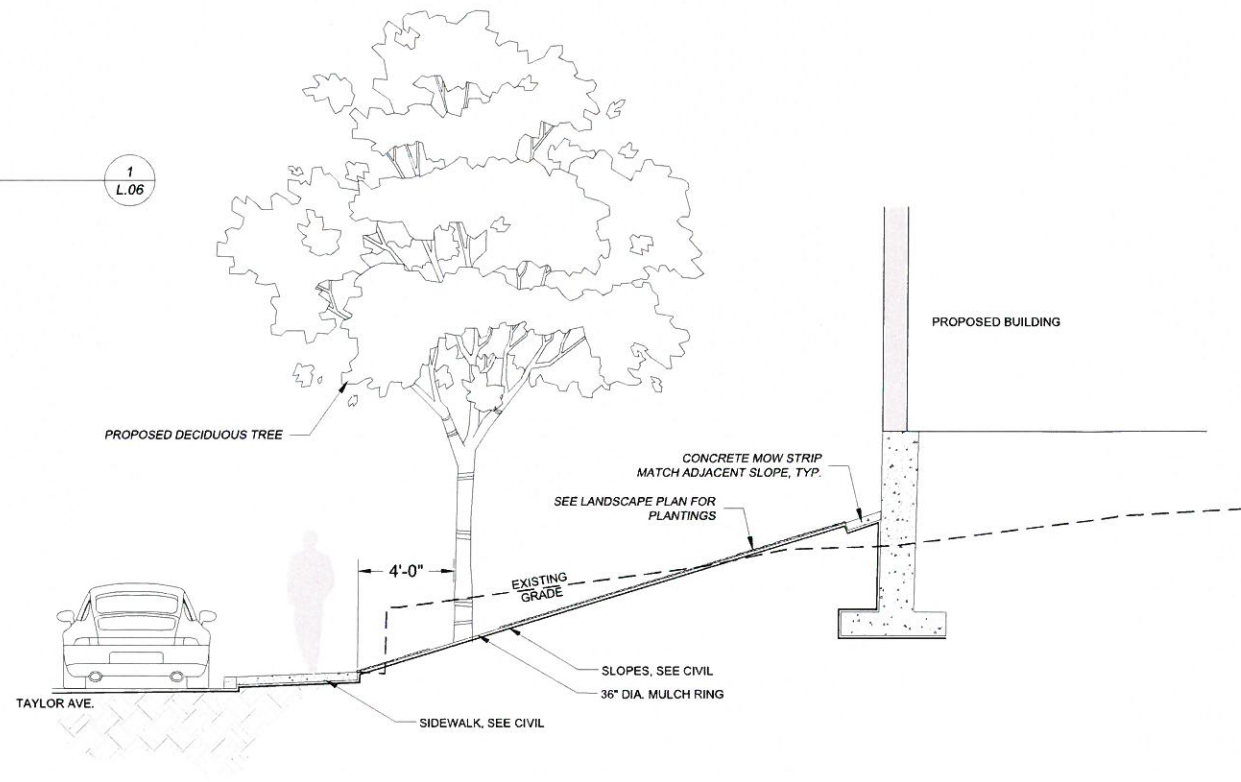
REGISTERED LANDSCAPE ARCHITECT  
792  
JAY A. BATTLESON  
05/21/2016  
OREGON

**L.05**



SECTION: PLAY FIELD  
SCALE: N.T.S.

1  
L.06



SECTION: TAYLOR AVE.  
SCALE: N.T.S.

2  
L.06

DESIGN DEVELOPMENT PACKAGE

SLSD NEW ELEMENTARY  
Project Address

**BLRB architects**  
TACOMA | SPOKANE | PORTLAND | BEND  
311 2nd Street, Suite 100  
Tacoma, WA 98501  
509.465.1234  
blrb.com

**[JBD]JBattleson Design**  
Landscape Architecture • Land Planning • Urban Design  
jbattleson@battlesondesign.com | 541.493.4745

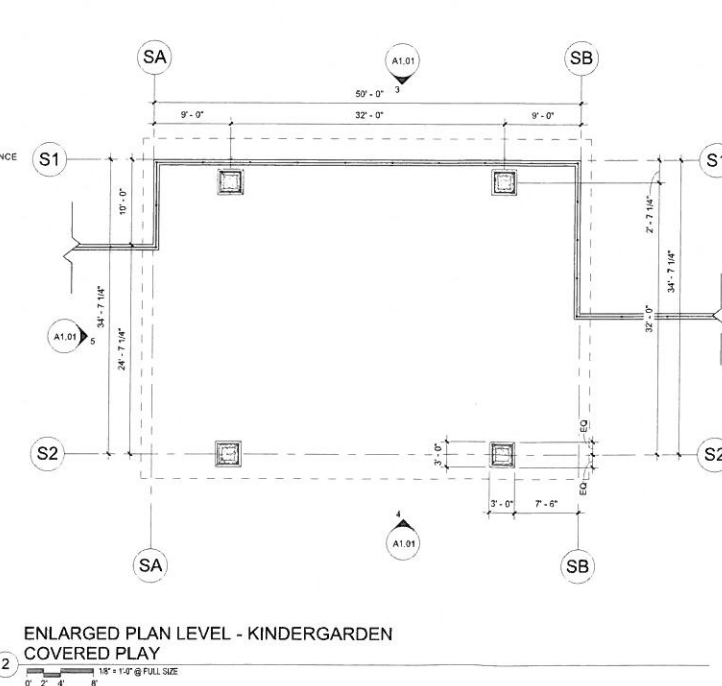
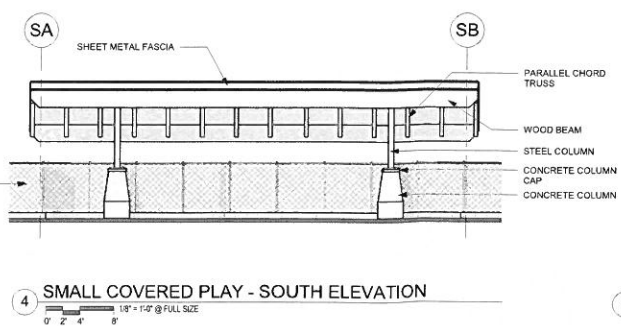
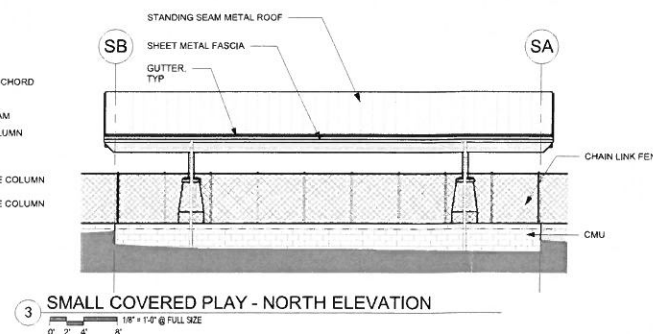
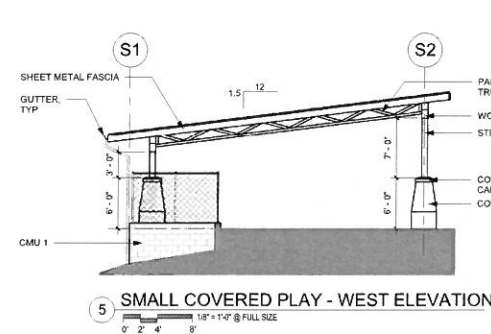
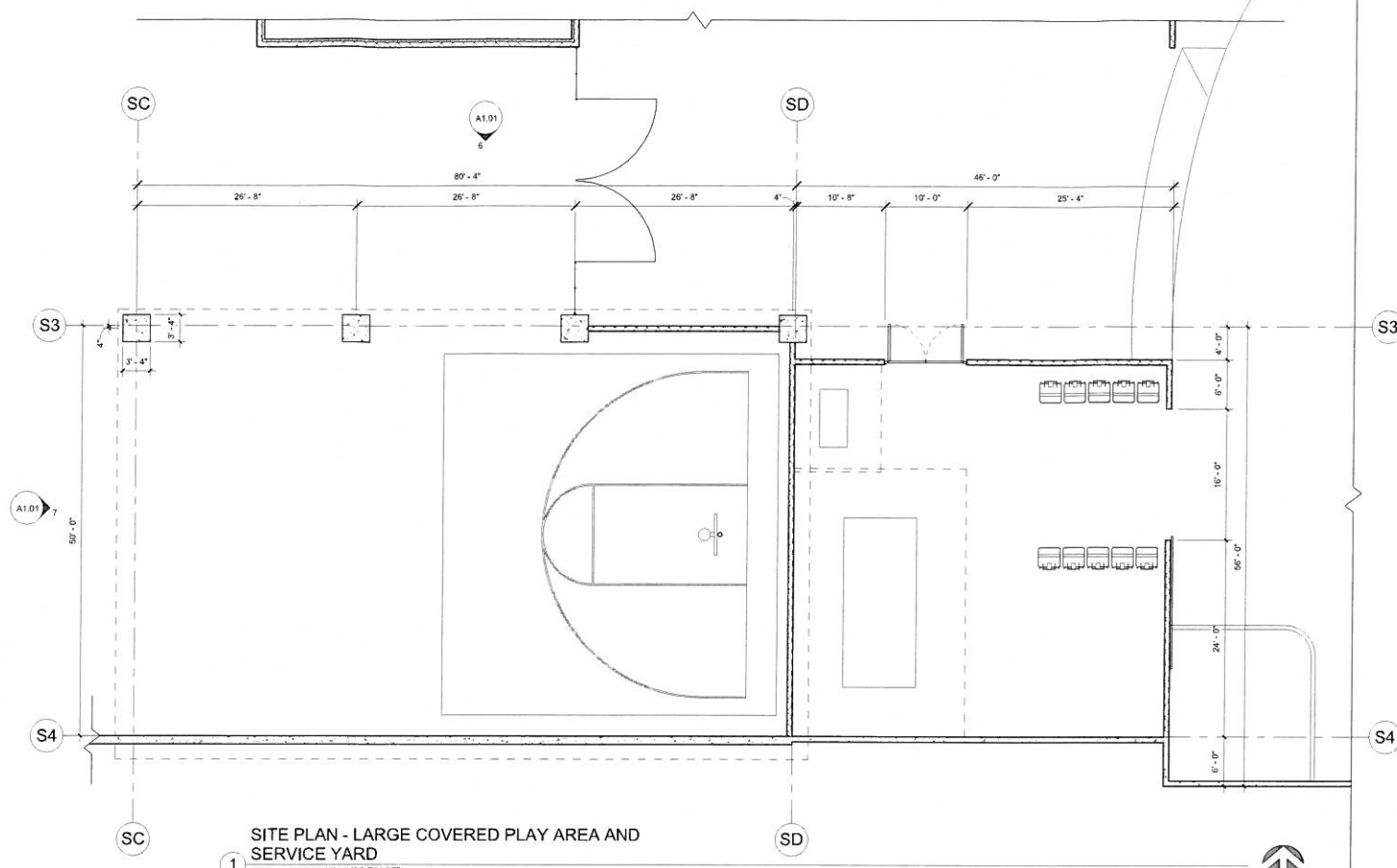
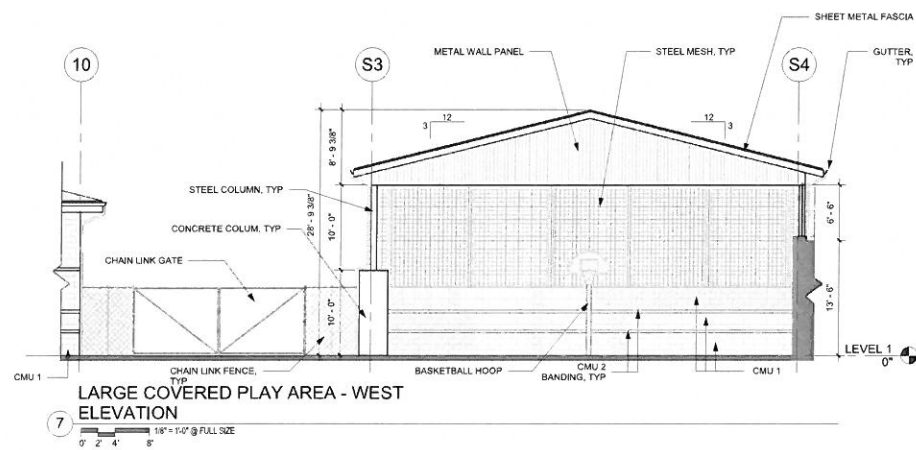
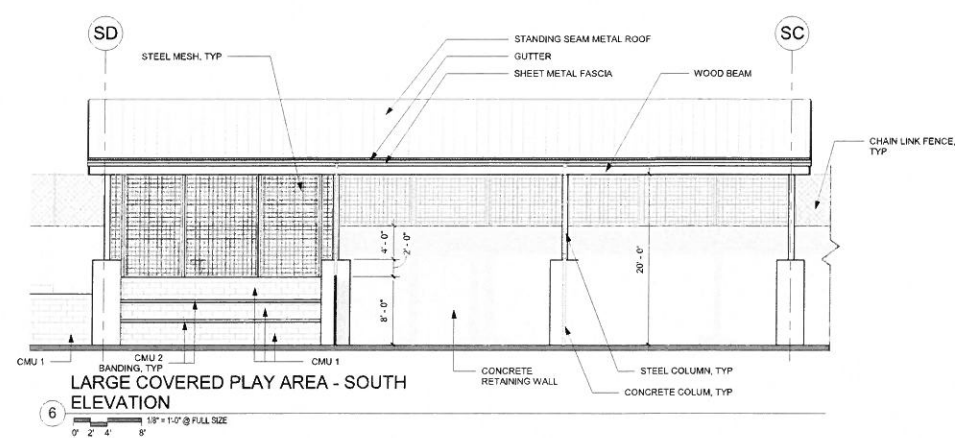
Revisions:  
▲  
▲  
▲

Drawing Title:  
**Sections & Details Plan**

Date: 11-07-2016 Drawn By: jdb  
Revised Date: Project No. 16,12B

Stamp: REGISTERED LANDSCAPE ARCHITECT  
732  
JAY A. BATTLESON  
05/31/2016  
OREGON  
Sheet No. **L.06**

MATERIALS KEY



**SITE REVIEW PACKAGE**

**SOUTH LANE NEW ELEMENTARY SCHOOL**  
1000 TAYLOR AVE  
COTTAGE GROVE, OR

**BLRB architects**  
TACOMA | SPOKANE | PORTLAND | BEND

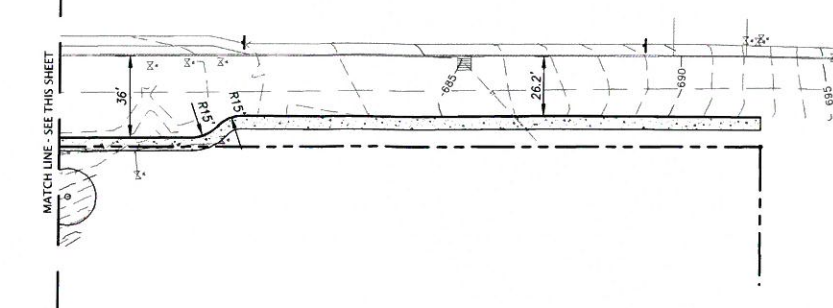
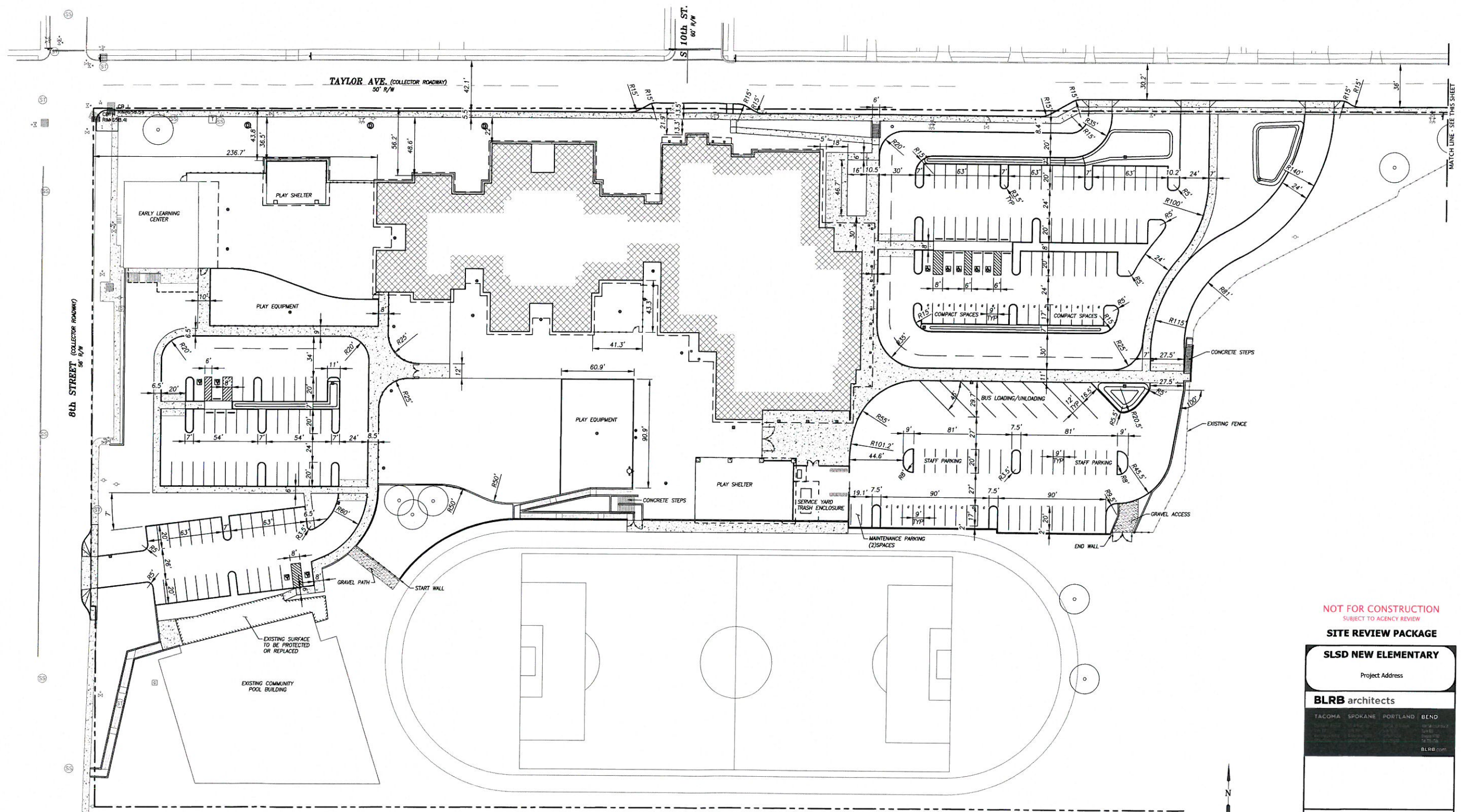
Revisions:

Date:	11-04-2016	Drawn By:	INITIALS
Revised Date:		Project No.:	16.12B
Stamp:		Sheet No.:	

PRELIMINARY - NOT FOR CONSTRUCTION

**A1.01**

BLRB ARCHITECTS, P.S.



**LEGEND**

- |  |  |
|--|--|
| <ul style="list-style-type: none"> <li>--- PROPERTY LINE</li> <li>⊕ EXISTING FIRE HYDRANT</li> <li>⊕ EXISTING WATER VALVE</li> <li>⊕ EXISTING CATCH BASIN</li> <li>⊕ EXISTING STORM MANHOLE</li> <li>⊕ EXISTING WASTEWATER MANHOLE</li> <li>⊕ EXISTING TELEPHONE RISER</li> <li>⊕ EXISTING TELEPHONE MANHOLE</li> <li>⊕ EXISTING GAS VALVE</li> <li>⊕ EXISTING GAS METER</li> <li>⊕ EXISTING POWER POLE</li> <li>⊕ EXISTING TREE TO REMAIN<br/>SEE LANDSCAPE PLAN</li> </ul> | <ul style="list-style-type: none"> <li>--- PROPOSED EASEMENT</li> <li>--- PROPOSED FENCE</li> <li>⊕ PROPOSED FIRE HYDRANT</li> <li>⊕ PROPOSED CATCH BASIN</li> <li>⊕ PROPOSED AREA DRAIN</li> <li>⊕ PROPOSED STORM MANHOLE</li> <li>⊕ PROPOSED WASTEWATER MANHOLE</li> <li>⊕ PROPOSED BUILDING</li> <li>⊕ PROPOSED GRAVEL</li> <li>⊕ PROPOSED CONCRETE PAVING</li> </ul> |
|--|--|

**TABULATION OF COVERAGE**

<b>DEVELOPMENT SITE</b>	
TAX LOT 100	822,328 Sq Ft
<b>PROPOSED CONDITIONS</b>	
IMPERVIOUS AREA	AREA (S.F.)
EXISTING BUILDINGS TO REMAIN	24,155 Sq Ft
PROPOSED SCHOOL	55,025 Sq Ft
COVERED PLAY AREAS	6,800 Sq Ft
PARKING, SIDEWALKS, AND HARDSCAPES	187,500 Sq Ft
PERVIOUS AREA	546,200 Sq Ft

**PARKING TABULATION**

	PROPOSED - SCHOOL HOURS	PROPOSED - AFTER HOURS
STANDARD	139 SPACES	139 SPACES
COMPACT	28 SPACES	28 SPACES
ADA	9 SPACES	9 SPACES
OFF-STREET	35 SPACES	35 SPACES
MAINTENANCE	2 SPACES	8 SPACES
<b>TOTAL</b>	<b>211 SPACES</b>	<b>221 SPACES</b>

NOT FOR CONSTRUCTION  
SUBJECT TO AGENCY REVIEW  
**SITE REVIEW PACKAGE**

**SLSD NEW ELEMENTARY**

Project Address

**BLRB architects**

TACOMA SPOKANE PORTLAND BEND  
BLRB.com

Revisions:



Drawing Title:

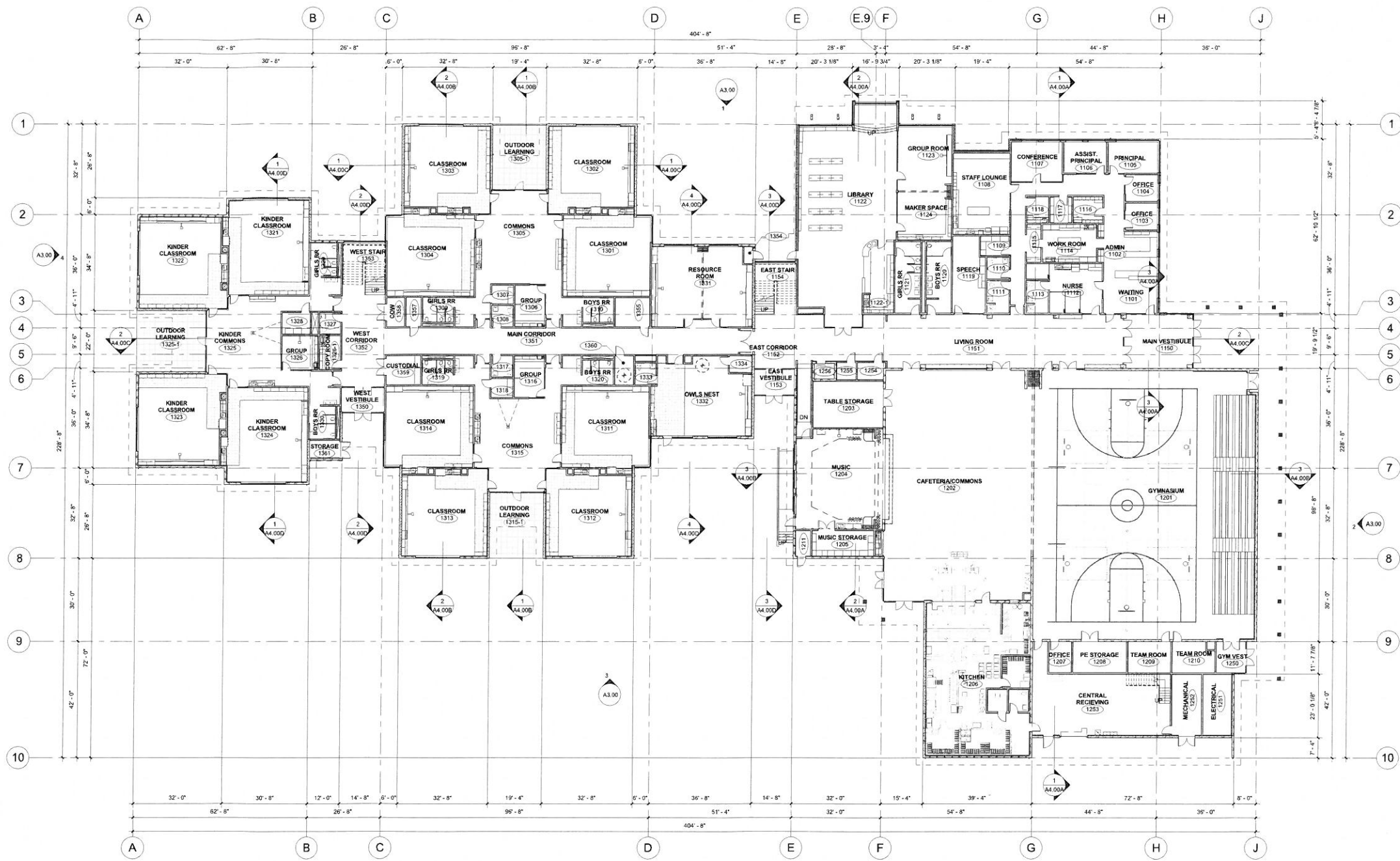
SCHOOL PLAN

Date: 11-7-2016 Drawn By: MD

Revised Date: Project No. 16-20

Stamp Sheet No.

**A1.0**



1 LEVEL 1 REFERENCE PLAN  
 1/8" = 1'-0" @ FULL SIZE

FIRST FLOOR: 54,464 SF

**SITE REVIEW PACKAGE**

**SOUTH LANE NEW ELEMENTARY SCHOOL**  
 1000 TAYLOR AVE  
 COTTAGE GROVE, OR

**BLRB architects**  
 TACOMA SPOKANE PORTLAND BEND

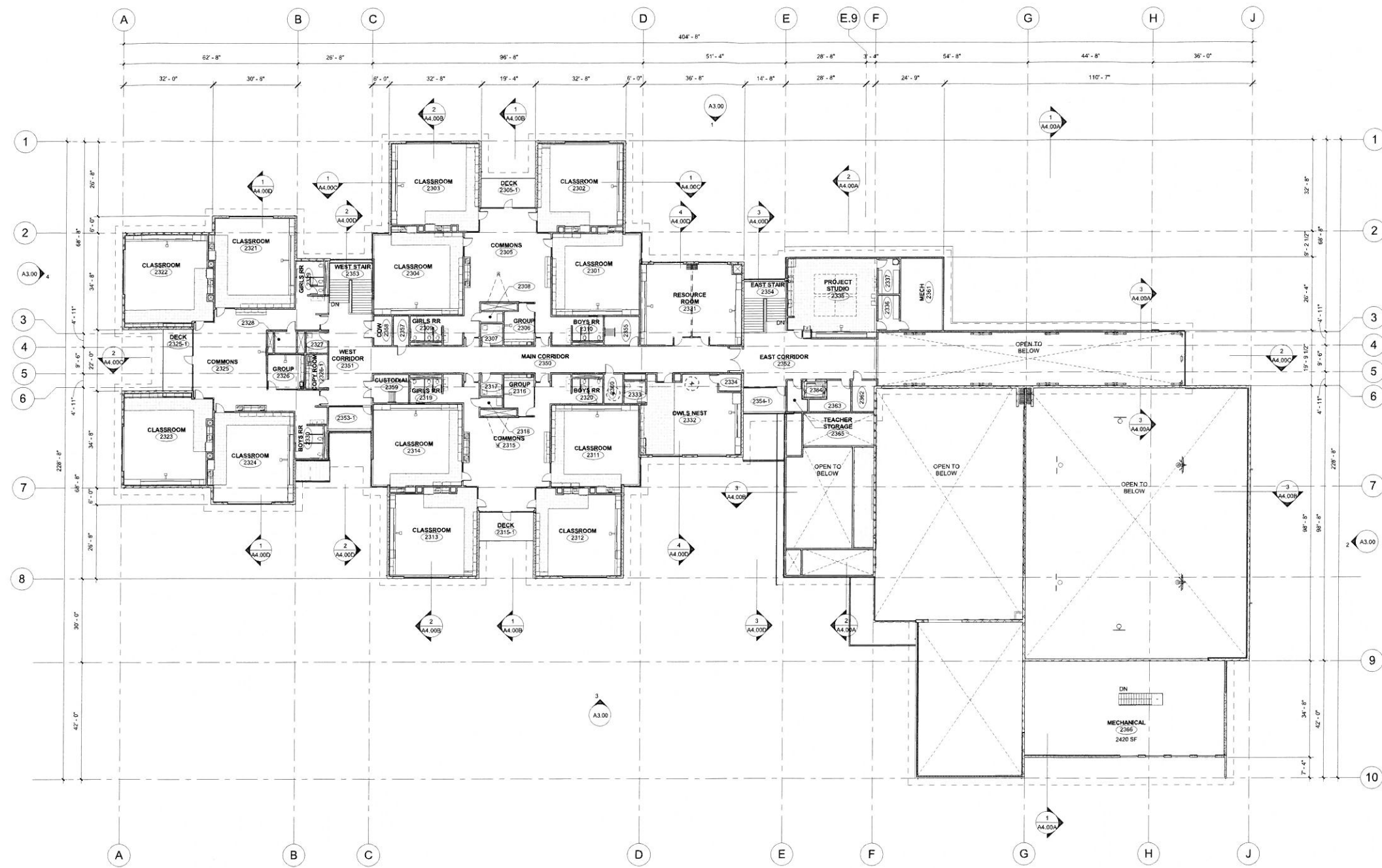
Revisions:

Date:	11-04-2016	Drawn By:	
Revised Date:		Project No.:	16,12B
Stamp:		Sheet No.:	

**PRELIMINARY - NOT FOR CONSTRUCTION**

**A2.10**

BLRB ARCHITECTS, P.S.



1 LEVEL 2 REFERENCE PLAN  
 1/8" = 1'-0" @ FULL SIZE

SECOND FLOOR: 25,348 SF LEVEL 2 W/O SOUTH MECHANICAL AREA  
 2,363 SF SOUTH MECHANICAL AREA

**SITE REVIEW PACKAGE**

**SOUTH LANE NEW  
 ELEMENTARY SCHOOL**  
 1000 TAYLOR AVE  
 COTTAGE GROVE, OR

**BLRB architects**  
 TACOMA SPOKANE PORTLAND BEND  
 2017 12/15/2016  
 16.12B  
 BLRB ARCHITECTS, P.S.

Revisions:


Drawing Title:  
**LEVEL 2 REFERENCE PLAN**

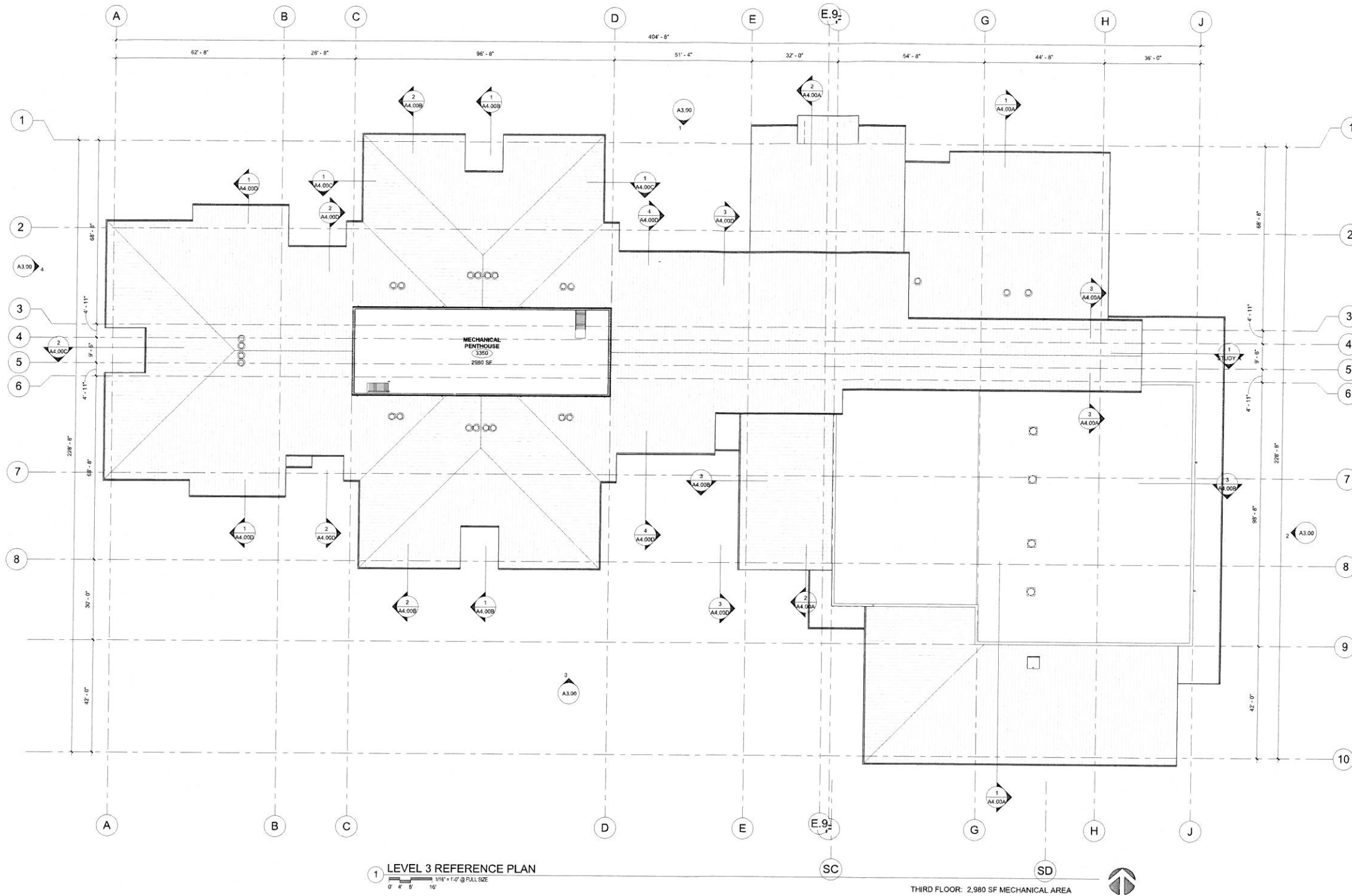
Date: 11-04-2016 Drawn By: INITIALS

Revised Date: Project No. 16.12B

Stamp Sheet No.

**PRELIMINARY -  
 NOT FOR  
 CONSTRUCTION**  
 A2.20  
 sf

11/04/2016 9:47:32 AM



**SITE REVIEW PACKAGE**

**SOUTH LANE NEW ELEMENTARY SCHOOL**  
 1000 TAYLOR AVE  
 COTTAGE GROVE, OR

**BLRB architects**

TACOMA SPOKANE PORTLAND BEND

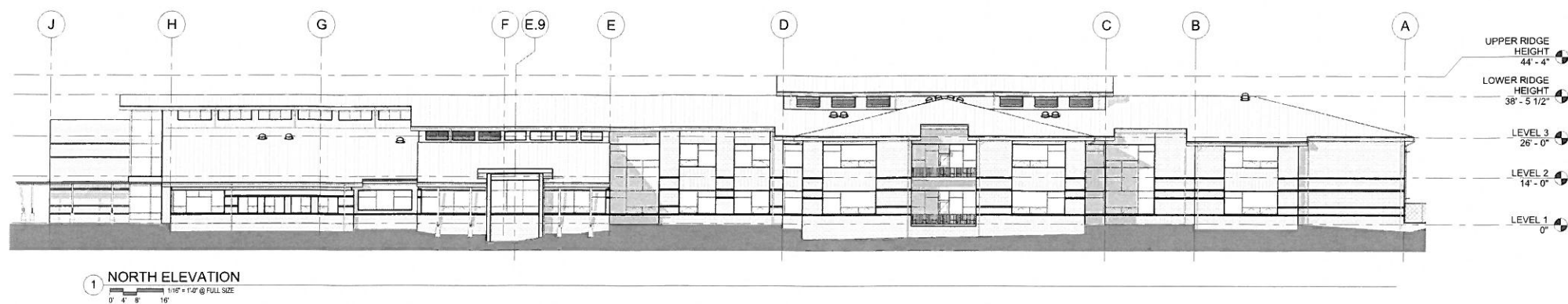
Revisions:

Date:	11-04-2016	Drawn By:	INITIALS
Revised Date:		Project No.:	16.12B
Stamp:		Sheet No.:	A2.30

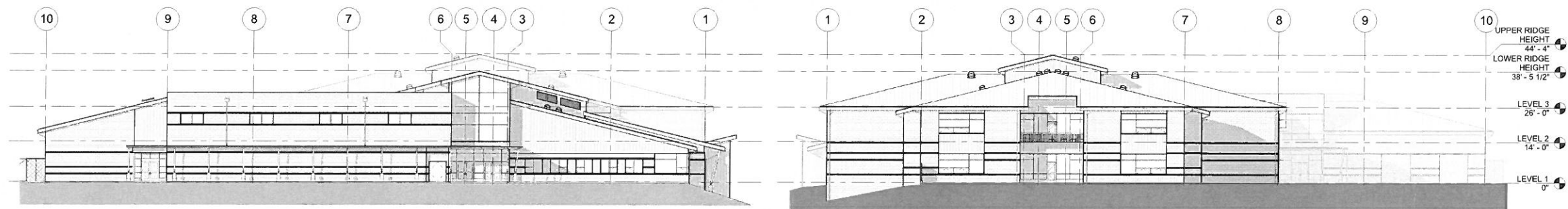
PRELIMINARY - NOT FOR CONSTRUCTION

BLRB ARCHITECTS, P.S.

**MATERIALS KEY**

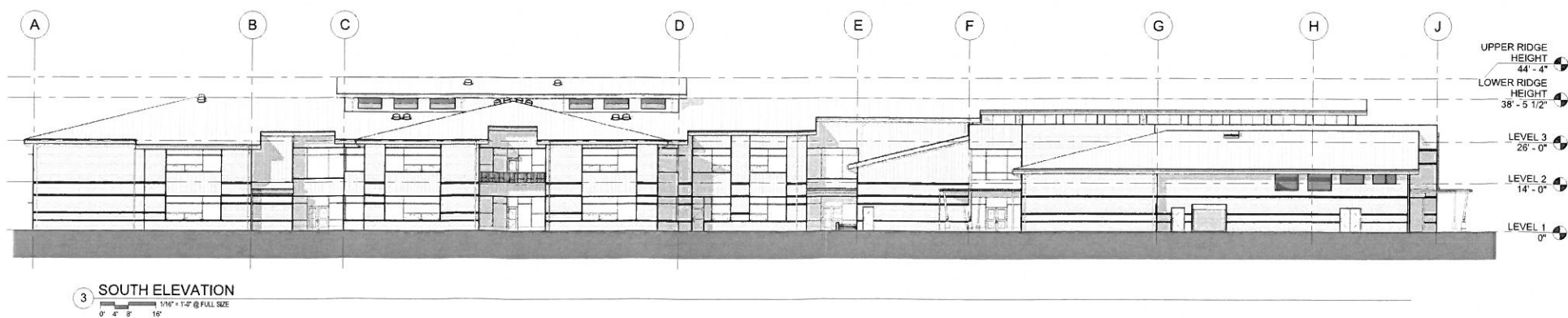


1 NORTH ELEVATION



2 EAST ELEVATION

4 WEST ELEVATION

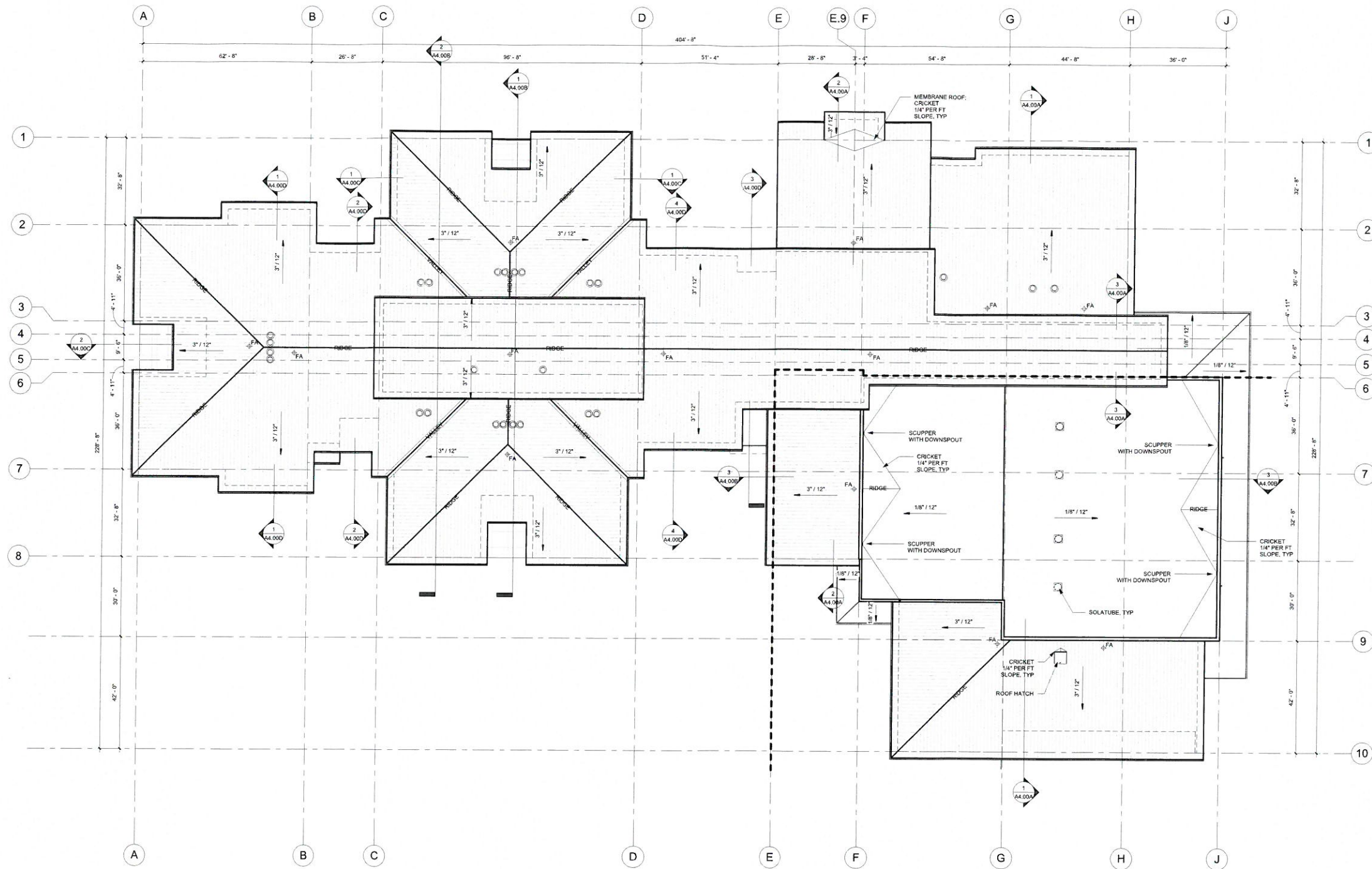


3 SOUTH ELEVATION

**SITE REVIEW PACKAGE**

<b>SOUTH LANE NEW ELEMENTARY SCHOOL</b> 1000 TAYLOR AVE COTTAGE GROVE, OR	
<b>BLRB architects</b>	
TACOMA   SPOKANE   PORTLAND   BEND	
<small>                 200 N. 10TH ST. SUITE 200, TACOMA, WA 98560                  1000 N. 10TH ST. SUITE 100, SPOKANE, WA 99208                  1000 N. 10TH ST. SUITE 100, PORTLAND, OR 97227                  1000 N. 10TH ST. SUITE 100, BEND, OR 97701                  TEL: (509) 465-1111 FAX: (509) 465-1112                  WWW.BLRBARCHITECTS.COM             </small>	
Revisions: [Empty table for revisions]	
Drawing Title: <b>OVERALL EXTERIOR ELEVATIONS</b>	
Date: 11-04-2016	Drawn By: INITIALS
Revised Date:	Project No. 16.12B
Stamp:	Sheet No.:
PRELIMINARY - NOT FOR CONSTRUCTION	<b>A3.00</b> of





1 ROOF REFERENCE PLAN  
 1/8" = 1'-0" @ FULL SIZE  
 0 4 8 16

**FALL PROTECTION ROOF PLAN NOTES**  
 FA FALL ARREST ANCHOR - SEE STRUCTURAL  
 PROVIDE 0/5419-PC - FLASHING (TYPICAL)  
 SEE DETAIL XXXX.XX

**SITE REVIEW PACKAGE**

**SOUTH LANE NEW ELEMENTARY SCHOOL**  
 1000 TAYLOR AVE  
 COTTAGE GROVE, OR

**BLRB architects**  
 TACOMA SPOKANE PORTLAND BEND

Revisions:

Drawing Title:  
**ROOF REFERENCE PLAN**

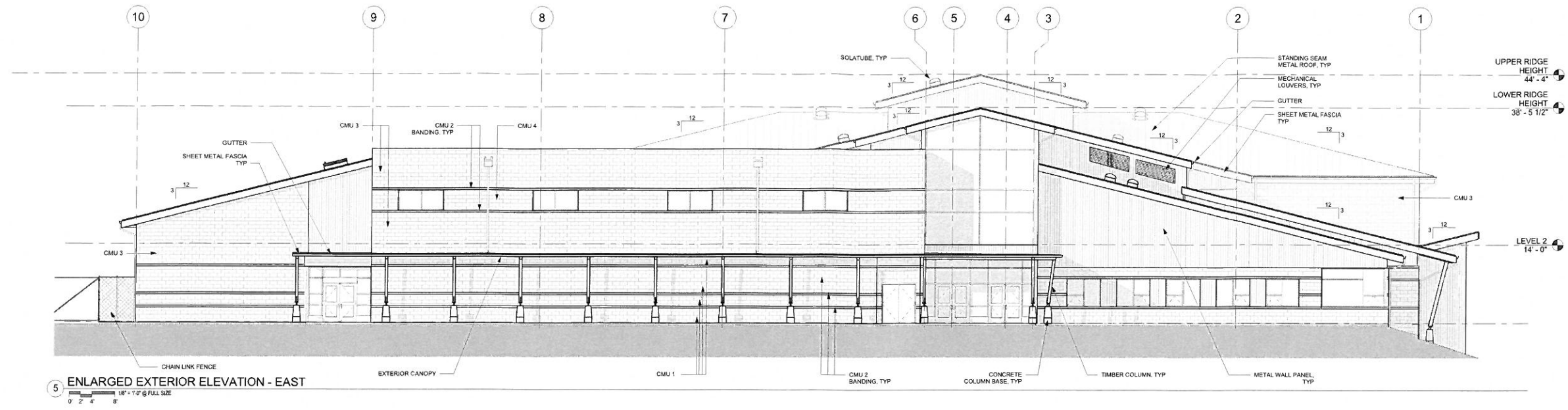
Date:	11-04-2016	Drawn By:	INITIALS
Revised Date:		Project No.:	15.12B
Stamp:		Sheet No.:	

**PRELIMINARY - NOT FOR CONSTRUCTION**

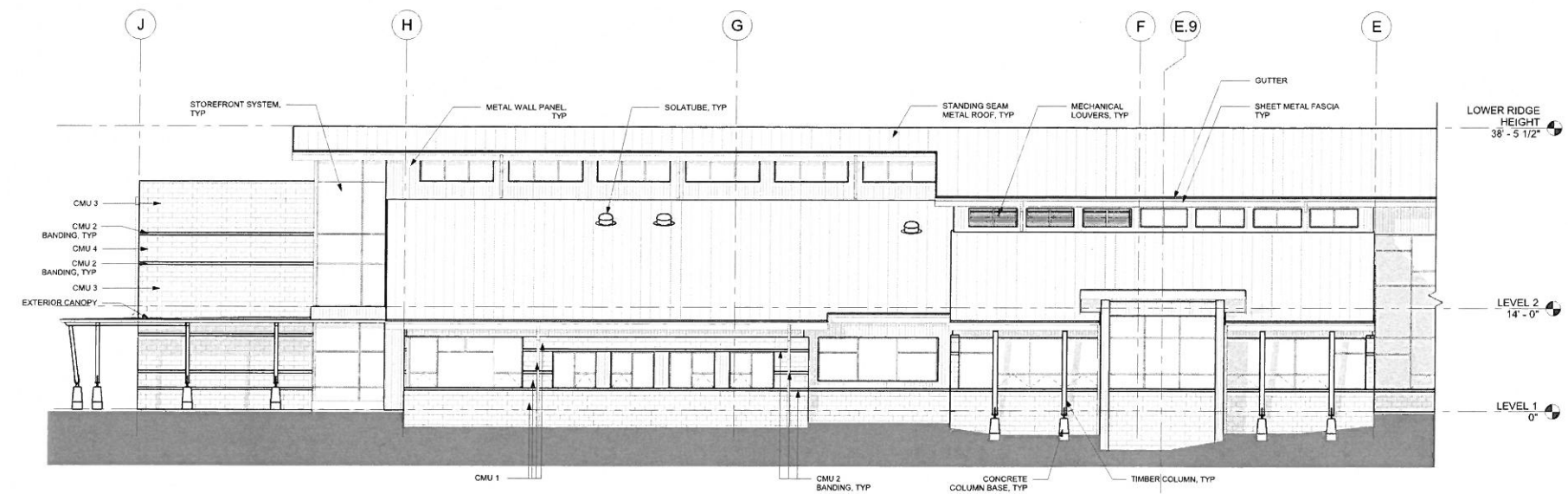
**A2.40**

BLRB ARCHITECTS, P.S.

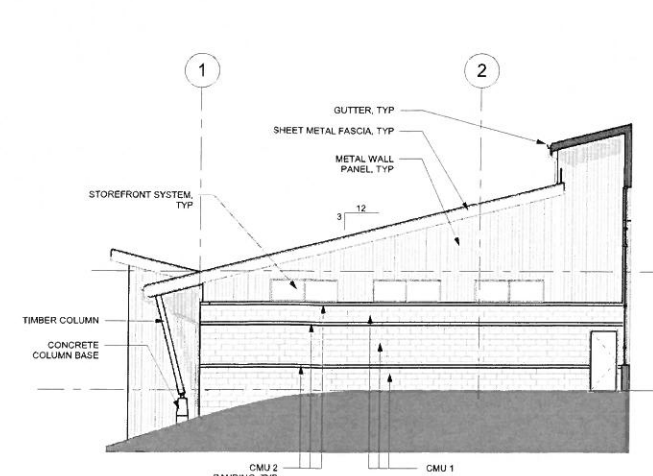
CMU 1 = GROUND FACE - COLOR 1  
 CMU 2 = SPLIT FACE - COLOR 2  
 CMU 3 = GROUND FACE - COLOR 3  
 CMU 4 = GROUND FACE - COLOR 4



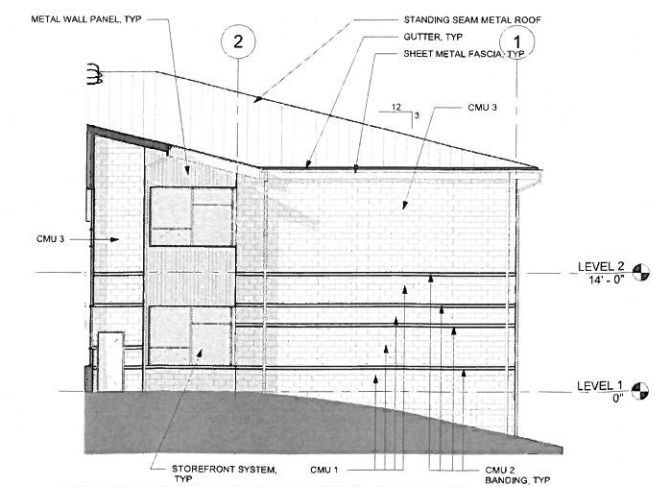
5 ENLARGED EXTERIOR ELEVATION - EAST  
 1/8" = 1'-0" @ FULL SIZE



1 ENLARGED EXTERIOR ELEVATION - AREA 1 - NORTH  
 1/8" = 1'-0" @ FULL SIZE



13 ENLARGED EXTERIOR ELEVATION - LIBRARY - WEST  
 1/8" = 1'-0" @ FULL SIZE



3 ENLARGED ELEVATION - NORTH CLASSROOM POD - EAST  
 1/8" = 1'-0" @ FULL SIZE

**SITE REVIEW PACKAGE**

**SOUTH LANE NEW ELEMENTARY SCHOOL**  
 1000 TAYLOR AVE  
 COTTAGE GROVE, OR

**BLRB architects**  
 TACOMA SPokane PORTLAND BEND

Revisions:

Drawing Title:  
**ENLARGED EXTERIOR ELEVATIONS**

Date:	11-04-2016	Drawn By:	Author
Revised Date:		Project No.:	16.12B
Stamp:		Sheet No.:	

**PRELIMINARY - NOT FOR CONSTRUCTION**

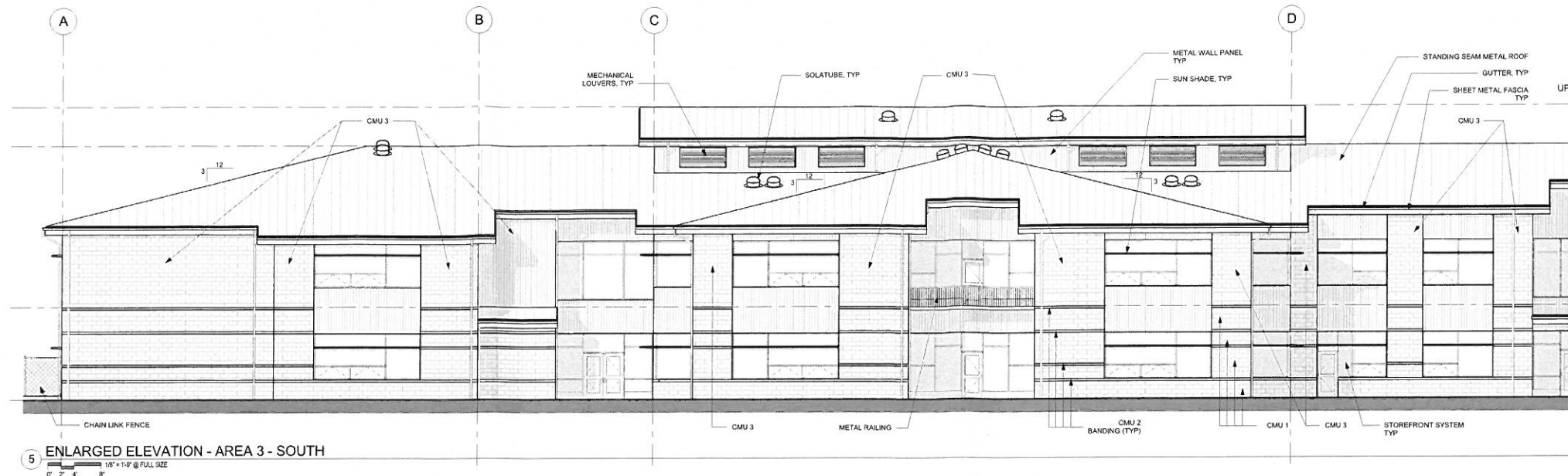
**A3.10**

BLRB ARCHITECTS, P.S.

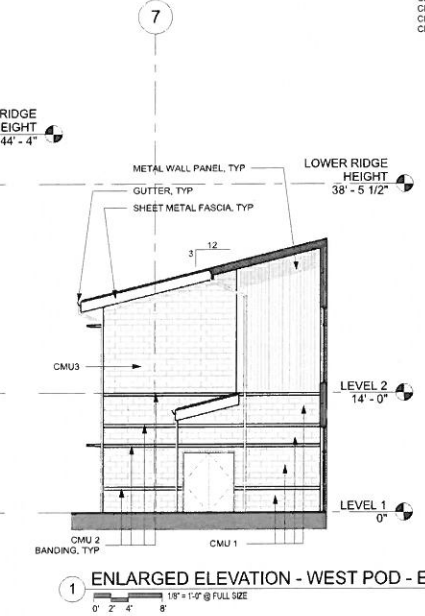
11/02/2016 9:48:59 AM



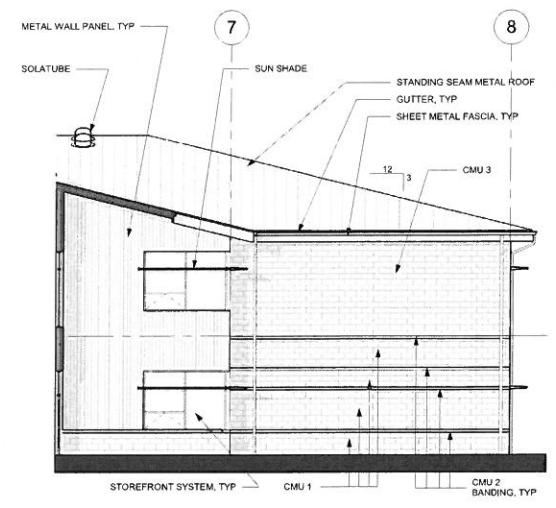
CMU 1 = GROUND FACE - COLOR 1  
 CMU 2 = SPLIT FACE - COLOR 2  
 CMU 3 = GROUND FACE - COLOR 3  
 CMU 4 = GROUND FACE - COLOR 4



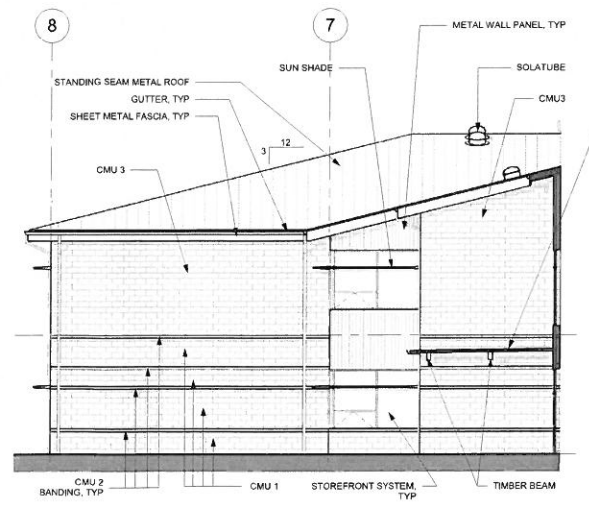
5 ENLARGED ELEVATION - AREA 3 - SOUTH  
 1/8" = 1'-0" @ FULL SIZE



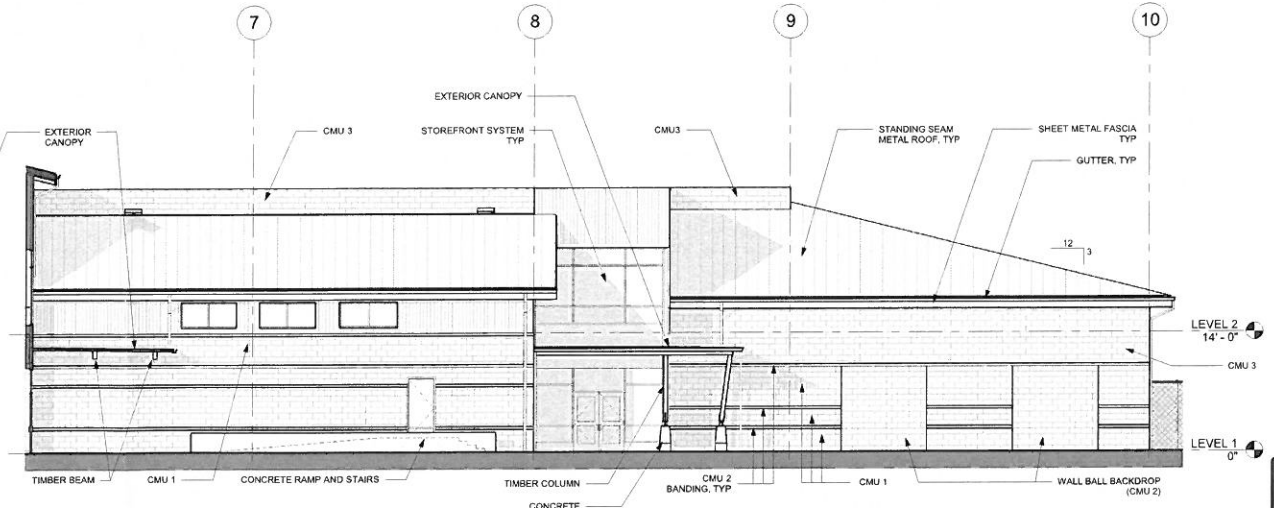
1 ENLARGED ELEVATION - WEST POD - EAST  
 1/8" = 1'-0" @ FULL SIZE



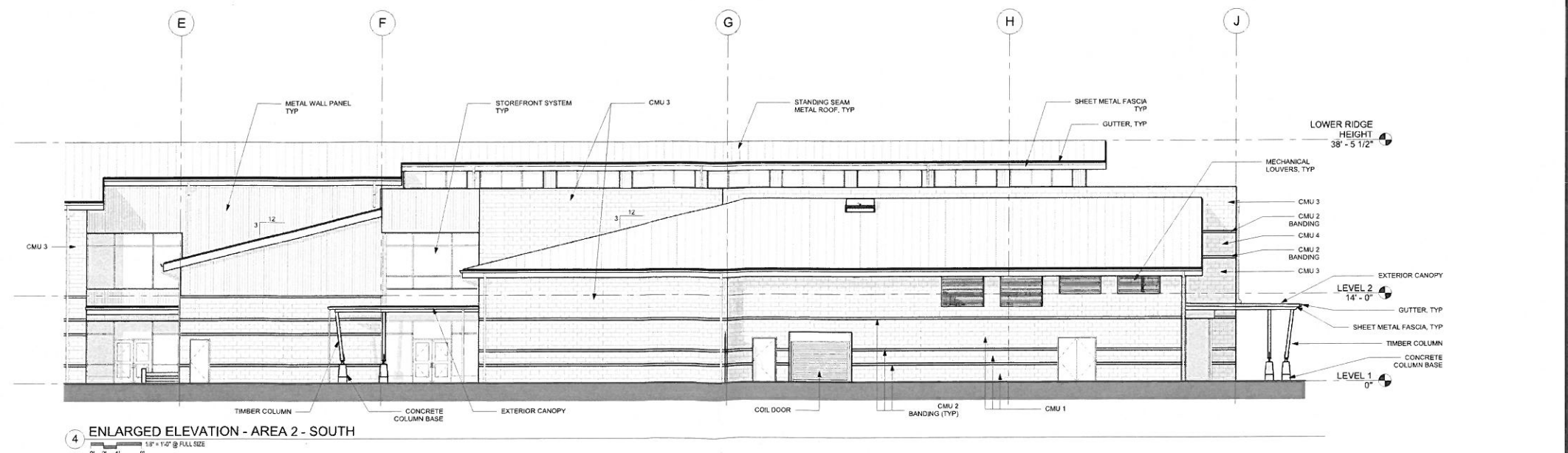
6 ENLARGED ELEVATION - SOUTH POD - WEST  
 1/8" = 1'-0" @ FULL SIZE



3 ENLARGED ELEVATION - SOUTH POD - EAST  
 1/8" = 1'-0" @ FULL SIZE



2 ENLARGED ELEVATION - AREA 2 - WEST  
 1/8" = 1'-0" @ FULL SIZE



4 ENLARGED ELEVATION - AREA 2 - SOUTH  
 1/8" = 1'-0" @ FULL SIZE

**SITE REVIEW PACKAGE**

**SOUTH LANE NEW ELEMENTARY SCHOOL**  
 1000 TAYLOR AVE  
 COTTAGE GROVE, OR

**BLRB architects**  
 TACOMA | SPOKANE | PORTLAND | BEND

Revisions:

Drawing Title:  
**ENLARGED EXTERIOR ELEVATIONS**

Date: 11-04-2016 Drawn By: Author

Revised Date: Project No. 16.12B

Stamp: Sheet No.

**PRELIMINARY - NOT FOR CONSTRUCTION**

**A3.12**

BLRB ARCHITECTS, P.S.

11/4/2016 9:49:54 AM