

STAFF REPORT
COTTAGE GROVE CHEVROLET
MODIFICATION TO APPROVAL MTA 1-22
4,200 SF ADDITION TO VEHICLE SERVICE CENTER
March 16, 2022

PROPOSAL DESCRIPTION

Date application filed: February 18, 2022

Date application complete: February 21, 2022

Owner/Applicant: Cottage Grove Chevrolet/Brad Cohen
2775 Row River Road
Cottage Grove, OR 97424

Location: 2775 Row River Road, Cottage Grove, OR 97424
Map 20-03-27-40 TL 602

Present Conditions: Cottage Grove Chevrolet (Dealership and Vehicle Service Center)

Comp Plan Designation: C Community Commercial

Zoning: C2P Community Commercial

Proposal:

The applicant proposes an expansion of its existing vehicle service center by adding a 4,200 sf of new enclosed work area. The proposed addition is attached to the existing work area and will continue the existing roofline to the southeast approximately 60' utilizing the same engineered metal structure. The addition will allow for six new vehicle lifts and 12 other vehicle service areas. The applicant states that the hours of operation for the vehicle service center will not change as a result of this proposal. Vehicle servicing is a Conditional Use within the C2P Zone, hence this application for Modification to Approval. Additionally, due to the proposed addition being greater than 1,000 sf a concurrent application for Site Design Review has been submitted by the applicant and will be heard if this Modification to Approval is approved by the Planning Commission.

COMMENTS RECEIVED

Comments were received from the Fire Marshal, Danny Solesbee, on March 3, 2022, with the requirement that prior to occupancy a walk through be conducted by the Fire Marshal. For Fire Marshall approval of equipment layout and installation.

Comments were received from City Engineer Ron Bradsby on March 2, 2022, are discussed below, and are attached as conditions.

APPROVAL CRITERIA; MTA 1-22

14.46.300 Major Modifications

B. Major Modification Applications; Approval Criteria. *An applicant may request a major modification using a Type II or Type III review procedure, as follows:*

- 1. Upon the Community Development Director determining that the proposed modification is a major modification, the applicant shall submit an application form, filing fee and narrative, and a site plan using the same plan format as in the original approval. The Community Development Director may require other relevant information, as necessary, to evaluate the request.*
- 2. The application shall be subject to the same review procedure (Type II or III), decision making body, and approval criteria used for the initial project approval, except that adding a conditional use to an approved project shall be reviewed using a Type III procedure.*
- 3. The scope of review shall be limited to the modification request. For example, a request to modify a parking lot shall require site design review only for the proposed parking lot and any changes to associated access, circulation, pathways, storm drainage, lighting, trees, and landscaping. Notice shall be provided in accordance with Chapter 14.41.*
- 4. The decision making body shall approve, deny, or approve with conditions an application for major modification based on written findings on the criteria.*

Staff response and findings of fact: Per Table 14.23.110, “Quick Vehicle Servicing or Vehicle Repair” is a Conditional Use in the C2P – Community Commercial Zone. The existing vehicle servicing or vehicle repair use pre-dates Title 14 of the Cottage Grove Municipal Code, however due to the use requiring a Conditional Use Permit the proposed addition shall be reviewed as a Major Modification to Approval.

The following criteria are deemed applicable to this application:

Chapter 14.44.400 Conditional Use Permits - Criteria, Standards and Conditions of Approval. *The City shall approve, approve with conditions, or deny an application for a conditional use or to enlarge or alter a conditional use based on findings of fact with respect to each of the standards and criteria below:*

A. Use Criteria.

Cottage Grove Chevrolet
4,200 Vehicle Service Center
Addition

MTA 1-22

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1. *The site size, dimensions, location, topography and access are adequate for the needs of the proposed use, considering the proposed building mass, parking, traffic, noise, vibration, exhaust/emissions, light, glare, erosion, odor, dust, visibility, safety, and aesthetic conditions;*

Staff response and findings of fact: The subject property and its use as a car sales lot with vehicle service center were previously approved via Design Review in 1985. This application to add 4,200 sf to the existing vehicle service center is in line with the current use. A change in daily operation is not being proposed with this Modification to Approval application. The applicant states that the hours of operation will remain the same as the current service center. The proposed addition of enclosed vehicle servicing should not increase traffic, noise, dust, and light/glare. The site is suitable for the proposed 4,200 sf expansion and expanded vehicle servicing use.

Staff finds that this criterion has been met, provided conditions of approval found below are met.

2. *The negative impacts of the proposed use on adjacent properties and on the public can be mitigated through application of other Code standards, or other reasonable conditions of approval;*

Staff response and findings of fact: Potential negative impacts from the proposed addition include increased volume of discarded parts waiting transfer for disposal/recycling. To address this the applicant shall locate all scrap parts behind a screen/fence (maximum 7') or in an enclosure to block the view of the scrap materials from surrounding developments. This shall be a condition of approval.

Staff finds that this criterion has been met.

3. *All required public facilities have adequate capacity to serve the proposal;*

Staff response and findings of fact: The City Engineer has provided comments showing adequate capacity for water, sewer, sanitary sewer and streets within the area for the proposed development, as well as conditions of approval that will ensure that all required public facilities are developed to city standards.

Per City code, storm water runoff is not to adversely affect adjacent property owners; therefore no overland flow is allowed. All storm water runoff on commercial property shall be contained on the property prior to connecting the public storm drainage system.

4. *Willamette River Greenway criteria in Section 14.37.400 have been met, as applicable''*

Staff response and findings of fact: The site is not adjacent to or within the Willamette River Greenway. Therefore, this criterion is not applicable.

B. Site Design Standards. The Site Design Review approval criteria (Section 14.42.600) shall be met.

Conditions of approval from SDR 1-22 are applicable to this Modification to Approval MTA 1-22 application.

CONCLUSION

Modification to Approval **approval** pursuant to Section 14.46.300 Major Modification Criteria and subject to the recommended conditions is supported by the findings of fact that establish compliance with the applicable state and local standards.

STAFF RECOMMENDATION

That MTA 1-22 be **approved** for the proposed 4,200 sf addition to the vehicle service center at Cottage Grove Chevrolet, pursuant to Section 14.46.300 Major Modification Criteria which are supported by findings of fact and conditions that can establish compliance with applicable state and local standards.

CONDITIONS OF APPROVAL

1. Major modifications to these plans shall be approved by the Planning Commission.
2. Conditions of approval of Site Design Review SDR 1-22 are applicable to this Conditional Use Permit.
3. Building permits are required.
4. Trash/scrap receptacles shall be oriented away from building entrances and screened from view.
5. All man-made features required by this approval shall be maintained by the property owner in good condition, or otherwise replaced by the owner per this approval. Modifications to the design, materials, or features of buildings, structures, parking areas or other improvements shall require a Modification of Approval from the Planning Commission or approval of the Public Works & Development Director.
6. No external storage of materials, abandoned vehicles, appliances, metal or other debris shall be allowed on the site.
7. Engineering Comments (Exhibit A), dated March 2, 2022, shall be considered conditions of approval.

MATERIALS TO BE PART OF THE RECORD

File MTA 3-18

EXHIBITS

- A. Engineering Comments
- B. Application

Cottage Grove Chevrolet
4,200 Vehicle Service Center
Addition

MTA 1-22

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C. Site Plan & Elevations

EXHIBIT A

MEMO

To: Eric Mongan, City Planner

From: Ron Bradsby, City Engineer

Subject: ENGINEERING COMMENTS FOR SDR 1-22 (2775 ROW RIVER ROAD – COTTAGE GROVE CHEVROLET)

Date: March 2, 2022

The following comments are based on a proposed plan set, not dated (16 - 24" x 36" sheet) Changes may occur during the review process and/or development phase that will be in conflict with statements below and some issues may have been overlooked that will be commented on during the review process and/or development phase of this project.

Development Comments

General

- Traffic control shall be in accordance of the Manual of Uniform Traffic Control Devices for all work performed in the public right-of-way.
- Developer will be responsible for payment of all system development charges and design review and other associated fees.
- Sheet A000 under General Refences states a 2009 edition. Is this the most current edition?
- Sheet A100 near the Building Code Summary and Design Build Notes, there is some overlapping text. On the building permit plans, it would be nice if this was corrected.
- Sheet A105 – The model number on the separator note does not match the model number in the detail. Please correct.

Streets

- An Erosion control permit will be required. Erosion control is required during construction. Improvement plans shall include details and language on the method of erosion control in the contract documentation. Erosion control measures shall be in place before any construction begins.
- A concrete wash out area shall be shown on plans as well as a detail to construct it.
- An eight (8) foot sidewalk exist along Row River Road. Any damage to sidewalk during construction, will result in replacement of a sidewalk panel. Any replacement work shall meet City Standards. Contact Engineering department for details.

Cottage Grove Chevrolet
4,200 Vehicle Service Center
Addition

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- Any new utility work or repair of any utility work or connection to any utility within Row River Road or Mosby Creek Road shall conform to the City of Cottage Grove Standard Drawing No. 602. Contact Engineering Department for details

Water

- The property is currently being served water from Mosby Creek Road with a 2 inch meter
- A fire hydrant is located at the of Row River Road and Davidson.
- Plans did not show any new water fixtures. If there are new water fixtures including hose bibbs, please include on building permit plans so staff can check meter size for the business as outlined in the plumbing code

Sanitary Sewer

- An 8-inch sanitary sewer serves the property currently off Mosby Creek Road.
- Effluent from the Oil/Water Separator needs to drain to the sanitary sewer.
- Is the trench drain and collector box inside the new addition connected to the oil/water separator? I did not see any connection between the two in the plans.
- I am having difficulty understanding how the oil in the water is going to gathered. From the detail from Gibson Steel, it appears that outlet of the structure is below the level of the absorbant pouches. The proposed structure is great for removing sediment. Designer should verify that this particular structure should be used in this situation.

Storm Drainage

- From the detail on Sheet 105, half of the separator structure has a grate on it. From the location shown on the plans, this is not acceptable. Storm water cannot get into the structure and go to the sanitary sewer. The City of Cottage Grove has separated the storm water and sanitary sewer infrastructures and is actively separating any cross connections. .
- Storm water runoff is not to adversely affect adjacent property owners; therefore no overland flow is allowed. All storm water runoff from this development shall be contained on the property prior to connecting the public storm drainage system.
- Any on site catch basins shall comply with the latest version of by the Oregon Plumbing Speciality Code.
- No hydraulic calculations are needed because the existing conditions are a paved parking lot, so there will be no increase in storm water runoff from the proposed development.

1680-

EXHIBIT B

199-22-000014-PLAN



File No.: MTA 1-22
Date Submitted by Applicant: 2/18/2022
Date Deemed Complete: _____

400 Main Street Cottage Grove, OR 97424

TYPE III PERMIT APPLICATION

To: City of Cottage Grove Planning Commission

A. Applicant

- 1. Name: Cottage Grove Chevrolet Phone No.: 541-942-4415
- 2. Mailing Address: 2775 Row River RD Cottage Grove, OR, 97424
- 3. Email Address: Tlefler@BRADSCHEV.COM
- 4. Status: Owner Agent

Note: If agent you must have owner's consent and signature.

B. Owner (if not applicant)

- 5. Owner's Name: BRAD Cohen Phone No.: 541-942-4415
- 6. Owner's Mailing Address: 2775 Row River RD. C.G. OR 97424
- 7. Email Address: _____

C. Location of Property

- 8. Address/Location: 2775 Row River RD.
- 9. Map & Tax Lot Number: 20032740 - 00602
- 10. Present Use: Motor Vehicle repair garage office/showroom
- 11. Proposed Use: SAME

D. Request for Consideration

- 10. Type of Land Use Application applying for: Conditional use
Options: Conditional Use, Greenway Conditional Use, Cottage Industry, Historic Alteration, Land Use District Map changes (no plan amendment required), Master Planned Developments, Site Design Reviews, Subdivisions, Variance (Class C)

11. Is this application filed in association with other land use permit applications?

Yes No

12. Project Description: 60 Feet long 70 feet wide ADD ON Shop for 6 more lifts on EAST side of existing service building, that will increase vehicle MAINTANCE services currently provided by dealership

E. Required Information

Narrative Statement: This application must be filed with one copy of a narrative statement that explains how the application satisfies each and all of the relevant criteria and standards in sufficient detail for review and decision-making.

Note: Additional information may be required under the specific application requirements for each approval, e.g., Chapters 14.42 (Land Use Review), 14.43 (Land Divisions), 14.44 (Conditional Use), 14.45 (Master Planned Developments), 14.46 (Modifications), 14.48 (Code Interpretations), 14.49 (Miscellaneous Permits) and 14.51 (Variances).

Plans: Three (3) sets of plans, including one (1) set of plans in a reproducible form that is no larger than 11"x17" in size. Content of plans will vary with application type. Refer to submittal requirements for specific application type.

Neighborhood Meeting verification (for Master Planned Developments, Conditional Uses and Subdivisions). Must include copy of meeting notice and minutes and/or recording of meeting.

Non-refundable application fee. 1650

G. Signature

I hereby request a Type III Permit on the above described real property, which is either owned by or under contract of sale to the applicant, and is located within the City of Cottage Grove, Oregon.

I hereby acknowledge that this application is not considered filed and complete until all of the required information has been submitted as determined by the Public Works & Development Director and all required fees have been paid in full. Once the original application is submitted, Staff has 30 days to determine whether an application is complete. Within 30 days a letter will be mailed to you either deeming the application complete or requesting additional information. If additional information is requested you have 150 days to either: submit the missing information, submit some of the information and written notice that no other information will be provided, or submit a written notice that none of the missing information will be provided. *Once your application is deemed complete* you will be assigned a public hearing date before the Planning Commission and Staff will have 120 days to complete the processing of your application. (ORS 227.178)

Owner:	Agent:
Signature: _____	<u>T. C. Keller</u>
Name: _____	<u>Tony Keller</u>
Date: _____	<u>2-18-22</u>

Office Use Only

Date Application Received: <u>2/18/22</u>	Initials: <u>mc</u>
Date Application Complete: _____	Initials: _____
Applicant Notified of Completeness: _____	
Fee Paid: <u>\$40</u> Receipt No. <u>19292</u>	Initials: <u>(mk)</u>

COTTAGE GROVE CHEVROLET SERVICE BAY ADDITION

REX PRATER, AIA
Project Architect
BALANCE architecture+design, p.c.
541-914-1733
rex@balancearchitecturepc.com



SERVICE BAY ADDITION

A000	COVERSHEET
A100	BUILDING CODE SUMMARY
A105	SITE GRADE DRAINAGE PLAN
S101	FOUNDATION ENGINEERING
S201	FOUNDATION ENGINEERING
S202	STEEL BUILDING ENGINEERING
S203	STEEL BUILDING ENGINEERING
S204	STEEL BUILDING ENGINEERING
S205	STEEL BUILDING ENGINEERING
S206	STEEL BUILDING ENGINEERING
S207	STEEL BUILDING ENGINEERING
A110	BUILDING PLAN
A120	ROOF PLAN
A301	BUILDING ELEVATIONS
A302	BUILDING ELEVATION, SECTION



PROPERTY INFORMATION:
Project Type: COMMERCIAL
Project Permits: S-M-E-P
Site Address: 2775 ROW RIVER RD COTTAGE GROVE OR 97424
Map Tax lot: 20032740-00602
Site area: 7 ac
Zoning: verify C2 COMMUNITY COMMERCIAL
Construction Type: 5
Occupancy: B & S1-S (Fully Sprinklered)
motor vehicle repair garage, office/showroom

OWNER REPRESENTATIVE:
Tony Lefler
2775 Row River Rd
Cottage Grove, OR 97424
541-946-3905
tlefler@bradschevy.com

ARCHITECT
BALANCE architecture+design, p.c.
Studio: 1808 Jefferson St
Phone: 541-914-1733
E-mail: rex@balancearchitecturepc.com
Contact: Rex Prater, AIA (No.5808)

ENGINEER
Todd Costley P.E. (OR,WA)
Principal Engineer
McKenzie Engineering, LLC
M: 541-968-3909
www.mckenzieengr.com

SOILS:
GEOMAX, inc
Christian Principal Designer
(541) 942-0126

GENERAL CONTRACTOR
BRIDGEWAY CONSTRUCTION, LLC
Contact: Jerry Valencia
Phone: (541) 606-2571
E-mail: jerryv@bridgewaycontracting.com
CCB#: 176939

WARREN EXCAVATION
Site Work

ELECTRICAL
Belco Electrical Construction & Service
Contact: Rob Bellman
P.O. Box 40307 Eugene, OR 97404
O: 541 797 5400 C: 541 844 5036
rob@belcoecs.com

MECHANICAL
Alec Kayl
C&K Petroleum
541-344-0242
alexk@ckpetro.com

PLUMBING : FIRE
HARVEY & PRICE
Mike Tennent, 541-357-1290
mtennent@harveyandprice.com
CCB#77

CASCADIA Plumbing
Contact: Stephen Cole, 541-556-4035
Stephen@cascadia.co

REFERENCE CODES

GENERAL REFERENCES
ANSI NFPA
ICC/ANSI A177.1-2009, Accessible and Usable Buildings and Facilities, American National Standard, 2009 Edition.
International Code Council, Inc.
National Fire Protection Association (NFPA) - standards referenced in our state's statutes and regulations

PROJECT DESCRIPTION
Construct an additional service bay building onto the East of the existing service bay building that will increase vehicle maintenance services currently provided by the dealership

CONSTRUCTION
1. New 4,200 sq.ft. pre-engineered metal building
-special inspections as noted on Engineering Sheet

SUBMITTALS included:
GEOMAX SOIL REPORT
KAISER STEEL BUILDING, LLC

IS THIS THE MOST CURRENT?

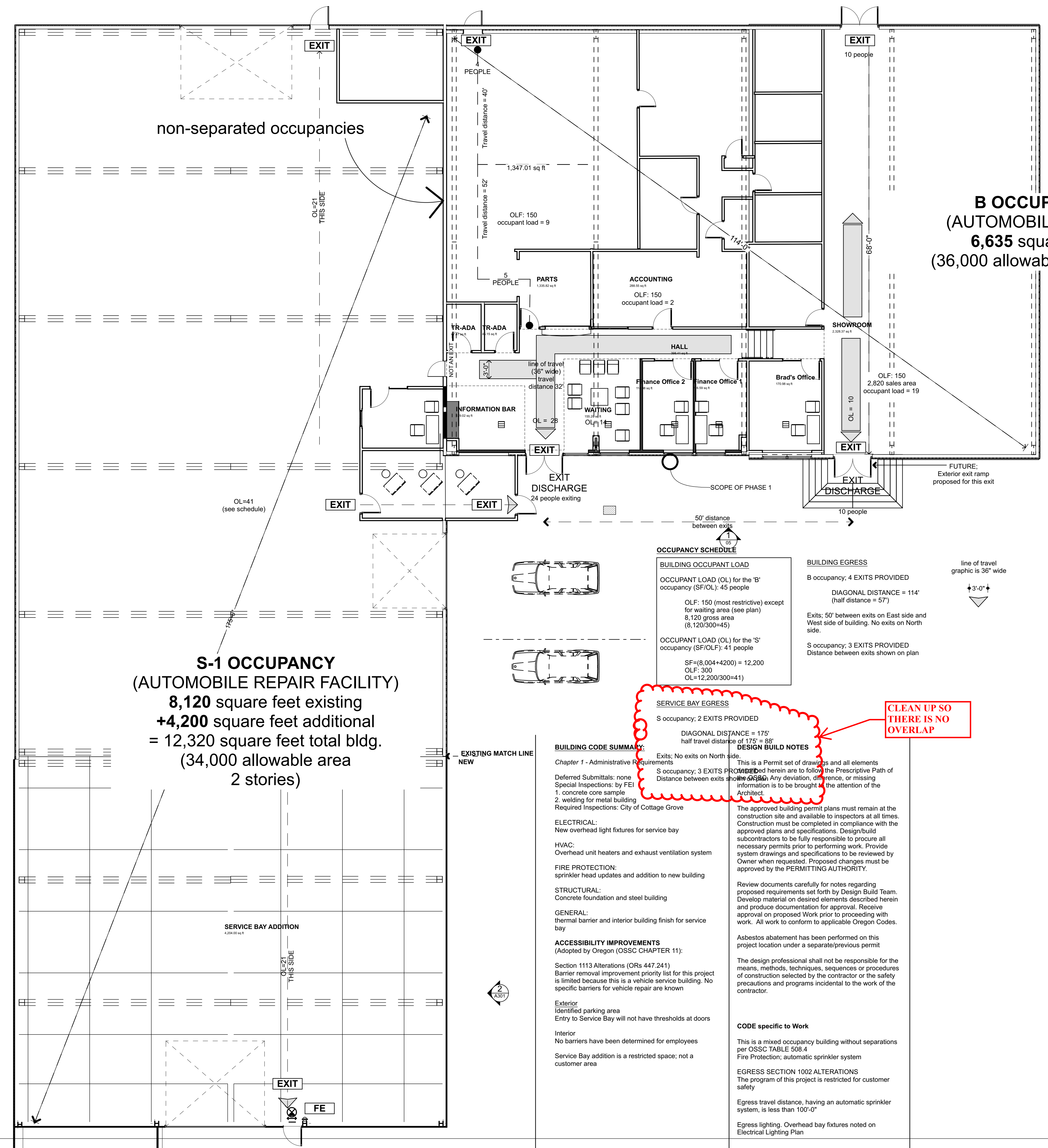
COTTAGE GROVE CHEVROLET GMC

2775 ROW RIVER RD
COTTAGE GROVE OR
97424

SHEET TITLE:

COVERSHEET

A000



B OCCUPANCY
 (AUTOMOBILE SALES)
 6,635 square feet
 (36,000 allowable, 3 stories)

S-1 OCCUPANCY
 (AUTOMOBILE REPAIR FACILITY)
 8,120 square feet existing
 +4,200 square feet additional
 = 12,320 square feet total bldg.
 (34,000 allowable area
 2 stories)

OCCUPANCY SCHEDULE

BUILDING OCCUPANT LOAD
OCCUPANT LOAD (OL) for the 'B' occupancy (SF/OL): 45 people OLF: 150 (most restrictive) except for waiting area (see plan) 6,120 gross area (8,120/300=45)
OCCUPANT LOAD (OL) for the 'S' occupancy (SF/OLF): 41 people SF=(8,004+4200) = 12,200 OLF: 300 OL=12,200/300=41

BUILDING EGRESS
 B occupancy: 4 EXITS PROVIDED
 DIAGONAL DISTANCE = 114'
 (half distance = 57')
 Exits: 50' between exits on East side and West side of building. No exits on North side.
 S occupancy: 3 EXITS PROVIDED
 Distance between exits shown on plan

SERVICE BAY EGRESS
 S occupancy: 2 EXITS PROVIDED
 DIAGONAL DISTANCE = 175'
 half travel distance of 175' = 88'

CLEAN UP SO THERE IS NO OVERLAP

BUILDING CODE SUMMARY:
 Chapter 1 - Administrative Requirements
 Deferred Submittals: none
 Special Inspections: by FEI
 1. concrete core sample
 2. welding for metal building
 Required Inspections: City of Cottage Grove

ELECTRICAL:
 New overhead light fixtures for service bay

HVAC:
 Overhead unit heaters and exhaust ventilation system

FIRE PROTECTION:
 sprinkler head updates and addition to new building

STRUCTURAL:
 Concrete foundation and steel building

GENERAL:
 thermal barrier and interior building finish for service bay

ACCESSIBILITY IMPROVEMENTS
 (Adopted by Oregon (OSSC CHAPTER 11):
 Section 1113 Alterations (ORs 447.241)
 Barrier removal improvement priority list for this project is limited because this is a vehicle service building. No specific barriers for vehicle repair are known

Exterior
 Identified parking area
 Entry to Service Bay will not have thresholds at doors

Interior
 No barriers have been determined for employees
 Service Bay addition is a restricted space; not a customer area

DESIGN BUILD NOTES
 This is a Permit set of drawings and all elements included herein are to follow the Prescriptive Path of the Code. Any deviation, difference, or missing information is to be brought to the attention of the Architect.

The approved building permit plans must remain at the construction site and available to inspectors at all times. Construction must be completed in compliance with the approved plans and specifications. Design/build subcontractors to be fully responsible to procure all necessary permits prior to performing work. Provide system drawings and specifications to be reviewed by Owner when requested. Proposed changes must be approved by the PERMITTING AUTHORITY.

Review documents carefully for notes regarding proposed requirements set forth by Design Build Team. Develop material on desired elements described herein and produce documentation for approval. Receive approval on proposed Work prior to proceeding with work. All work to conform to applicable Oregon Codes.

Asbestos abatement has been performed on this project location under a separate/previous permit

The design professional shall not be responsible for the means, methods, techniques, sequences or procedures of construction selected by the contractor or the safety precautions and programs incidental to the work of the contractor.

CODE specific to Work
 This is a mixed occupancy building without separations per OSSC TABLE 508.4
 Fire Protection; automatic sprinkler system

EGRESS SECTION 1002 ALTERATIONS
 The program of this project is restricted for customer safety

Egress travel distance, having an automatic sprinkler system, is less than 100'-0"

Egress lighting, Overhead bay fixtures noted on Electrical Lighting Plan

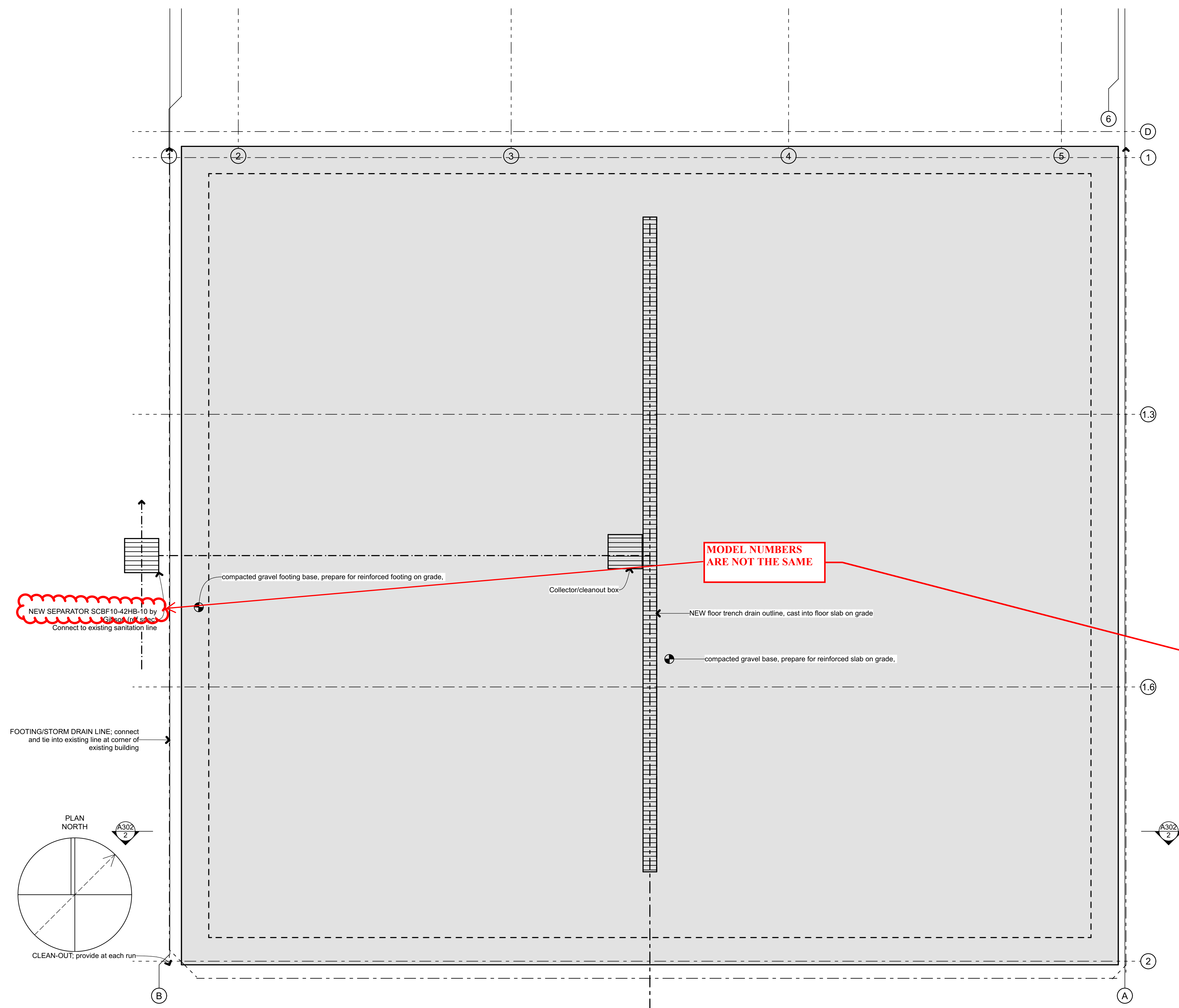


COTTAGE GROVE CHEVROLET GMC

2775 ROW RIVER RD
 COTTAGE GROVE OR
 97424

SHEET TITLE:

BUILDING CODE SUMMARY



PLAN VIEW

53" LONG
 24" WIDE
 29" HIGH

FLOGARD™ FILTER INSERT (MODEL FGP-24F8)
 WOVEN MESH FILTER BODY

NOTES:
 BOX FABRICATED FROM 10 GA. MATERIAL
 NEOPRENE GASKET (TWO SIDES)

OUTLET

DUCTILE IRON SOLID LID & DUCTILE IRON GRATE

SIDE VIEW

53" LONG
 42" HIGH
 48" WIDE

SILT & DEBRIS CONTAINMENT AREA
 L2 1/2 x 2 1/8 x 3/8 FRAME

HIGH FLOW BYPASS

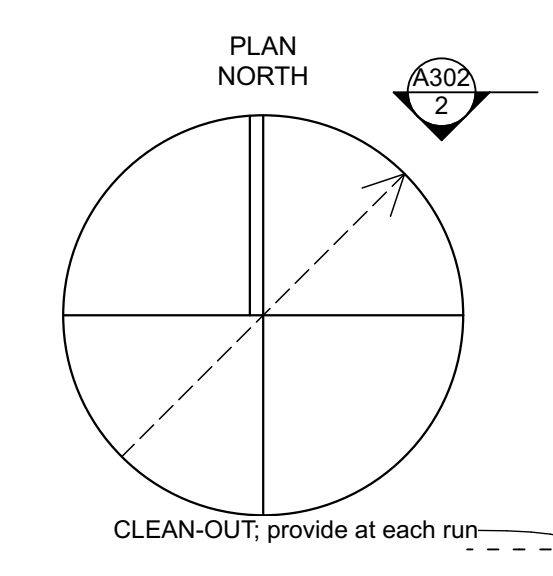
BIKE PROOF, HEAVY DUTY TRAFFIC GRATE SUPPORTS AASHTO H20 LOADS

REPLACEABLE ABSORBENT POUCHES

ISOMETRIC

SEDIMENT & HYDROCARBONS FILTRATION SYSTEM
 STATE APPROVED - ASPHALT DIPPED

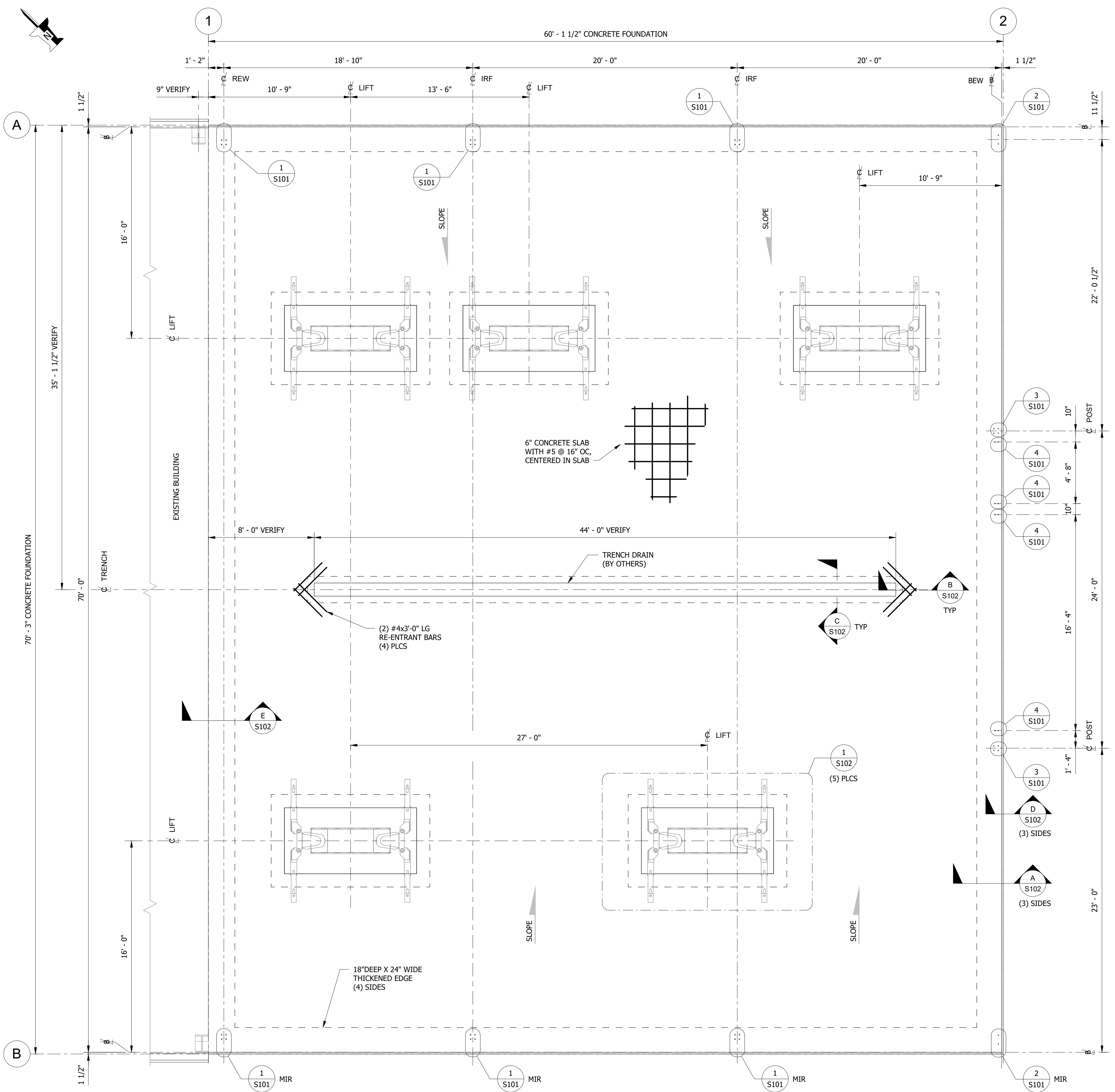
24" x 42" - 4" Ø OUTLET	DWG #
DATE: 11/19/2020	F4
Gibson Steel Basins, Inc. 1040 Arrowsmith St. Eugene, Or. 97402 (541) 484-7200 or (800) 574-8096 Visit us at: www.gibsonsteelbasins.com Email us at: sales@gibsonsteelbasins.com EST. 1986 CCB 150089	



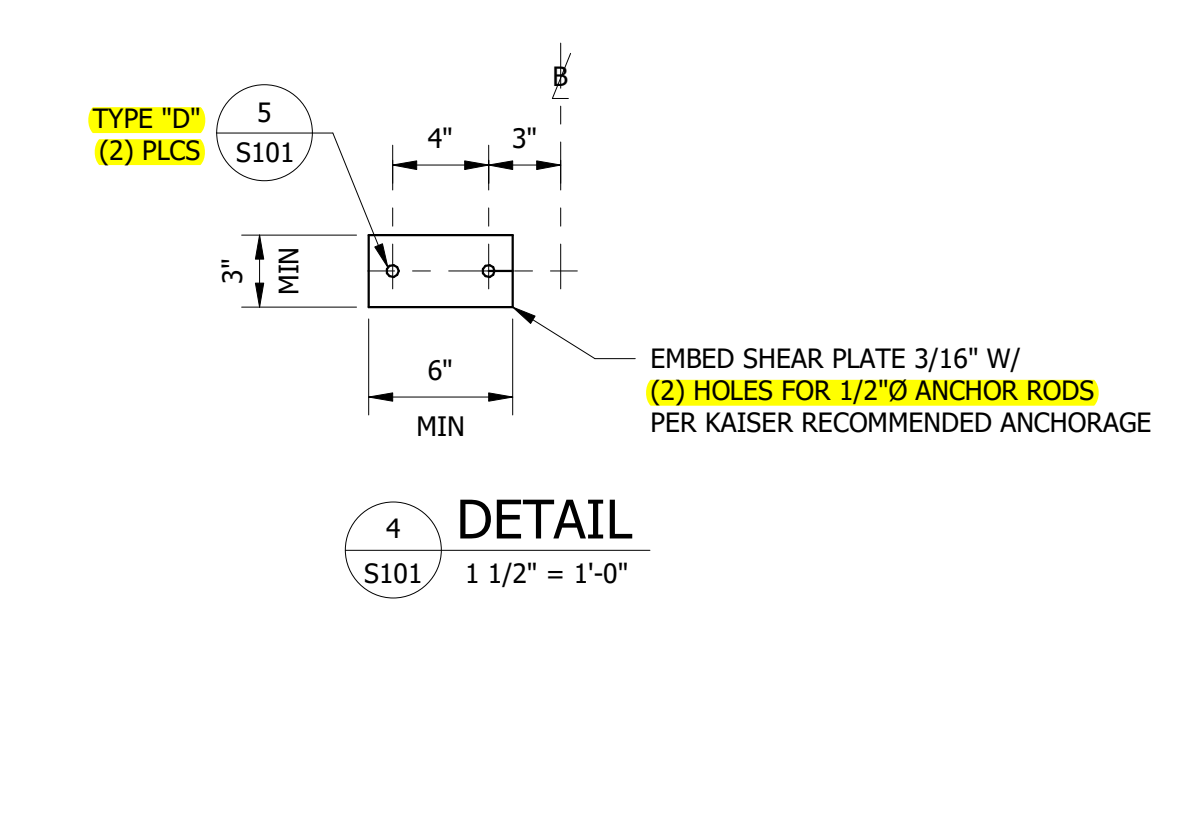
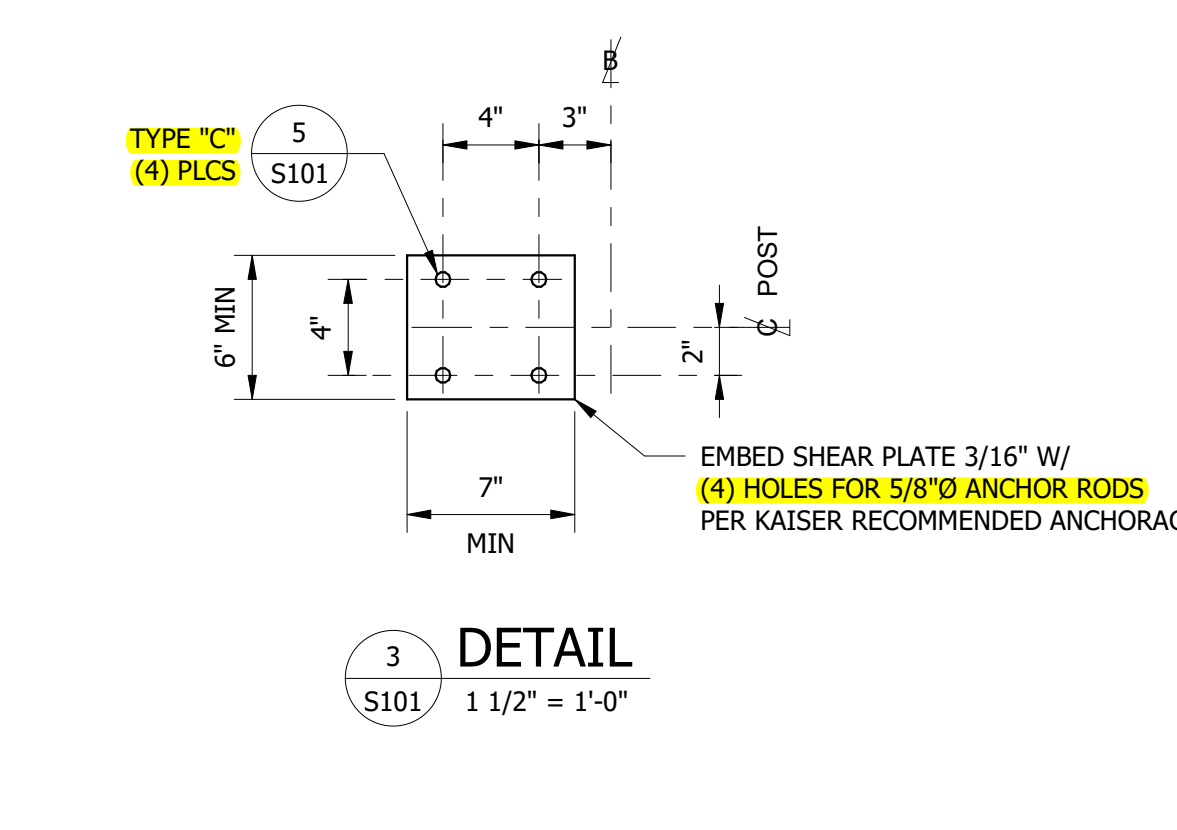
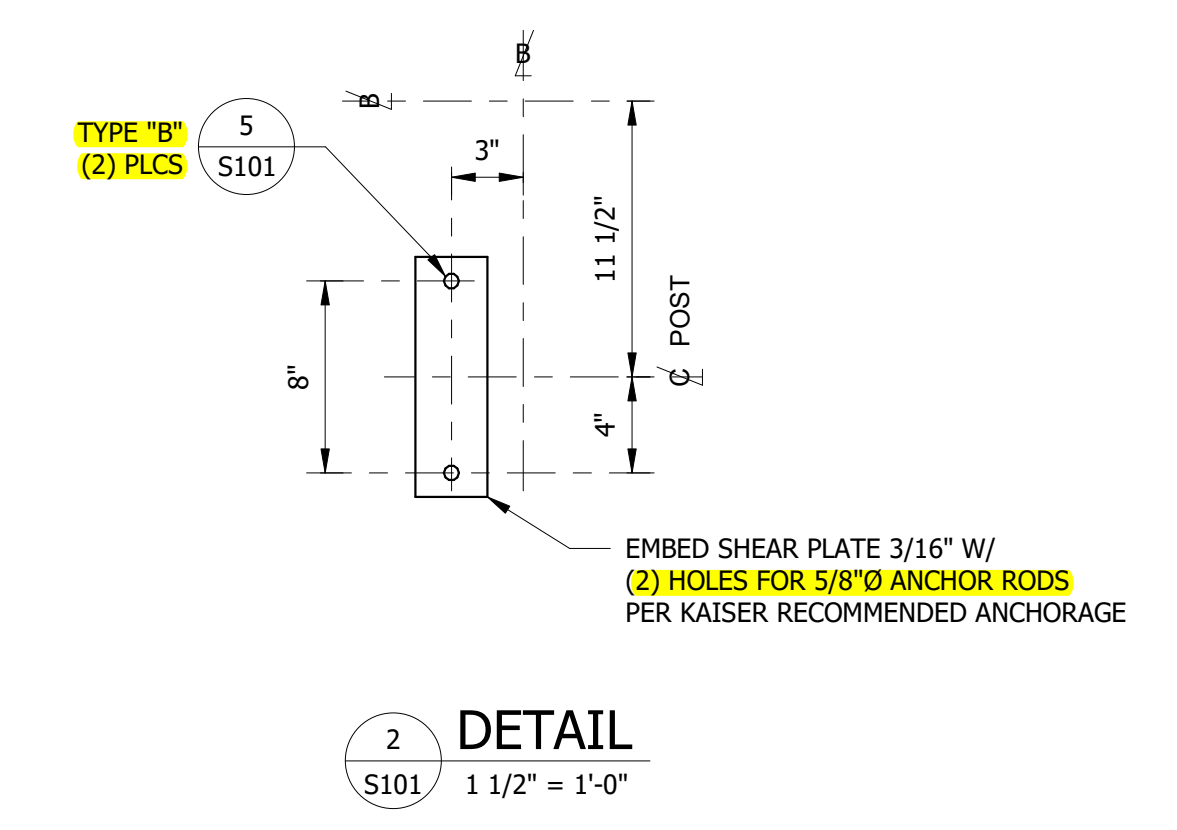
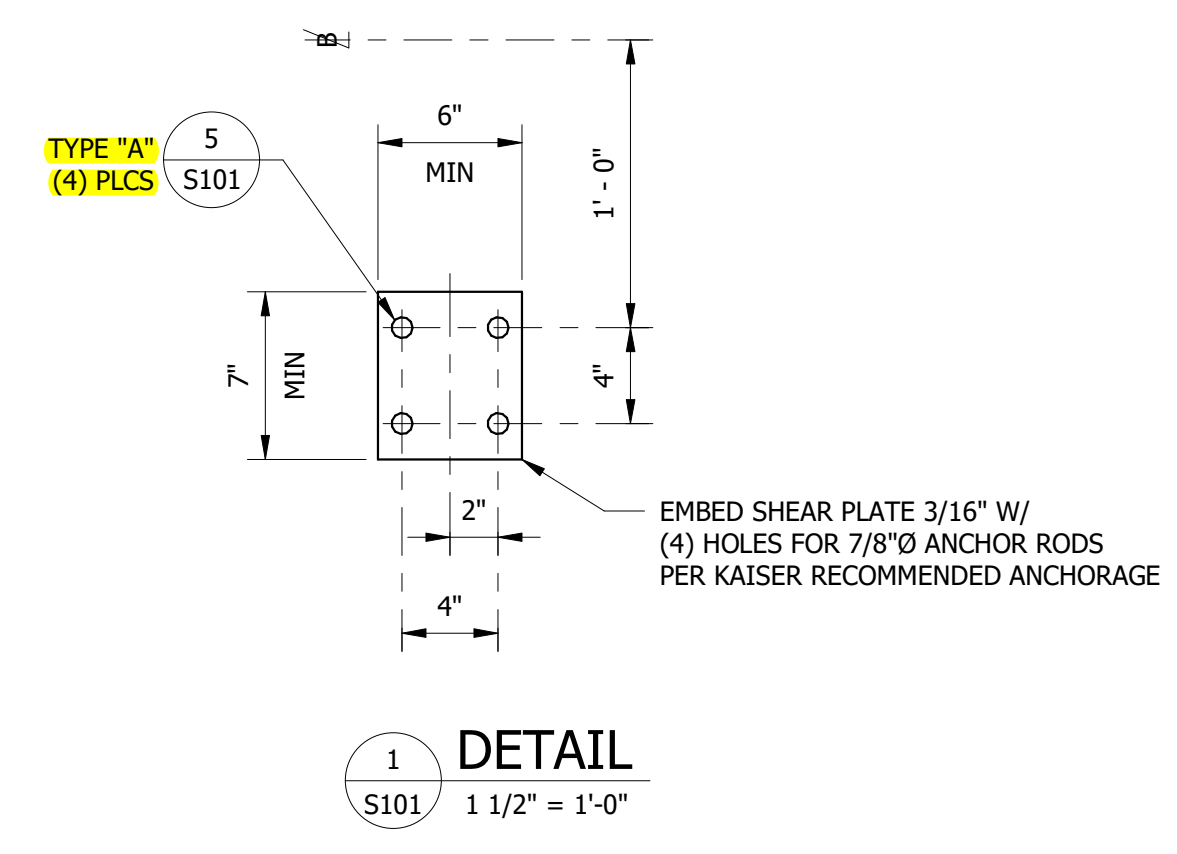
COTTAGE GROVE CHEVROLET GMC
 2775 ROW RIVER RD
 COTTAGE GROVE OR
 97424

SHEET TITLE:

SITE GRADE DRAINAGE PLAN



PLAN @ T.O. CONCRETE EL 100'-0"
1/4" = 1'-0"

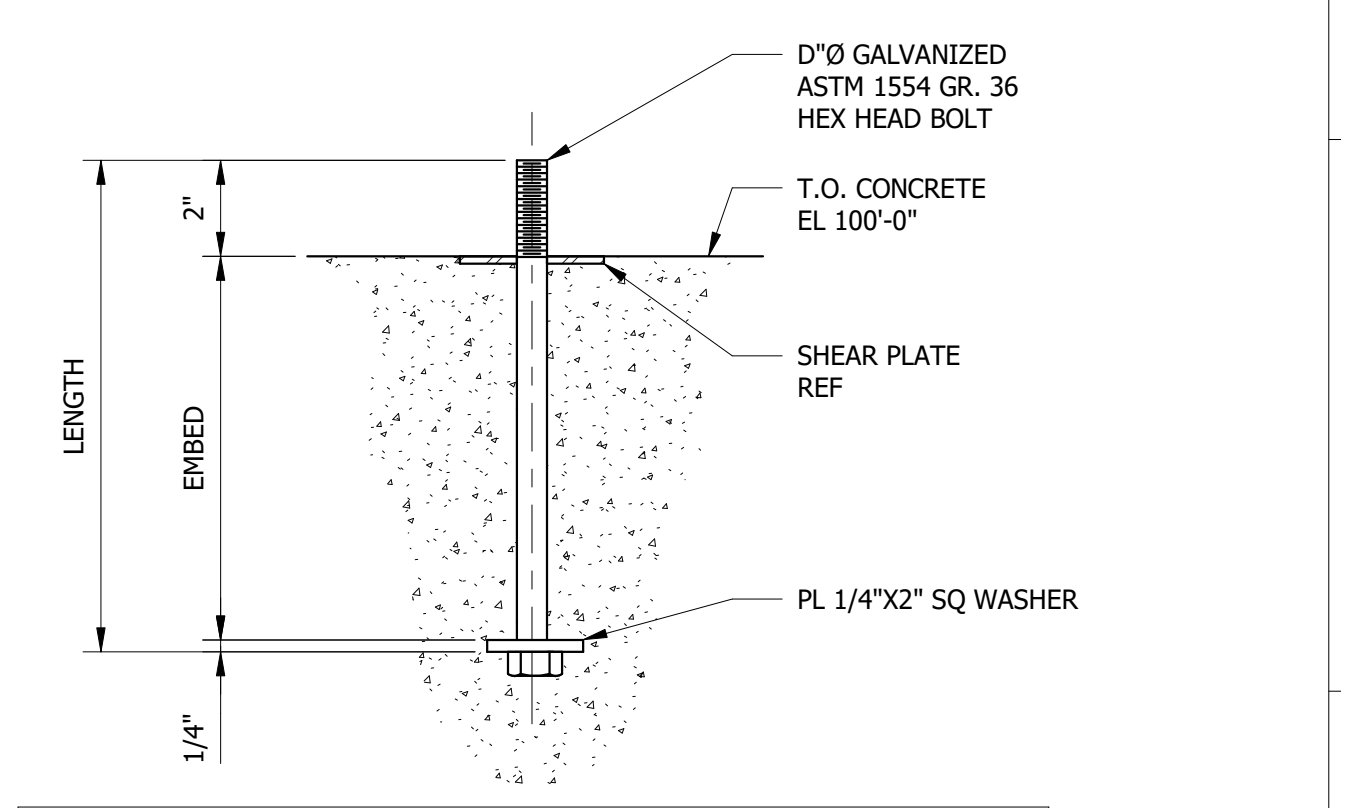


- ### GENERAL NOTES:
- ELEVATION 100'-0" IS AN ARBITRARY ELEVATION. FINISH FLOOR ELEVATION SHALL BE COORDINATED BY PROJECT MANAGER.
 - DESIGN AND DRAFTING BASED ON:
 - KAISER STEEL BUILDINGS, LLC - JOB #1738 (PROVIDED BY BRIDGEWAY CONTRACTING)
 - VEHICLE LIFT LOCATION (PROVIDED BY BALANCE ARCHITECTURE + DESIGN)
 - WORKMANSHIP, DESIGN MATERIALS, AND CONSTRUCTION SHALL CONFORM TO THE 2019 OREGON STRUCTURAL SPECIALTY CODE.
 - CONTRACTOR TO FIELD VERIFY ALL DIMENSIONS AND ANCHOR ROD LOCATIONS PRIOR TO COMMENCING WORK.
 - DOCUMENTATION OF CONCRETE MIX DESIGN SHALL BE SUBMITTED TO THE ENGINEER FOR APPROVAL.**
 - PROVIDE A 3/4" CHAMFER ON ALL EXPOSED CONCRETE CORNERS.
 - CONCRETE SHALL BE OF NORMAL WEIGHT AND OBTAIN A MINIMUM 28 DAY COMPRESSIVE STRENGTH OF **4,000 PSI**.
 - REBAR SHOP DRAWINGS SHALL BE SUBMITTED TO THE ENGINEER OF RECORD FOR APPROVAL PRIOR TO PLACEMENT.**
 - ALL CONCRETE REINFORCEMENT STEEL SHALL BE ASTM A615, GRADE 60.
 - LAP SPLICES FOR #5 REBAR SHOWN SHALL BE 28" MINIMUM.
 - ALL BOTTOM REBAR SHALL HAVE 3" CLEAR COVER. ALL TOP REBAR SHALL HAVE 1 1/2" CLEAR COVER.
 - DESIGN ALLOWABLE SOIL PRESSURE UNDER FOOTINGS AND SLABS IS 1,500 PSF**, PER GEOTECHNICAL REPORT BY GEOMAX INC., SOILS REPORT FOR BUILDING ADDITION, BRADS COTTAGE GROVE CHEVROLET DATED 10-18-2021.
 - FOUNDATION IS TO BE POURED MONOLITHICALLY.
 - PROVIDE 6" CRUSHED 3/4" MINUS GRAVEL, COMPACTED TO 90% COMPACTION UNDER NEW FOUNDATION.
 - PROVIDE 12" CRUSHED 3/4" MINUS GRAVEL, COMPACTED TO 90% COMPACTION UNDER THICKENED EDGE AROUND NEW FOUNDATION.
 - SLOPE FLOOR TO TRENCH DRAIN AS REQUIRED.
 - ELECTRICAL AND HYDRAULIC LAYOUT BY OTHERS.
 - LIFT LOCATIONS WERE PROVIDED BY OTHERS. CLIENT TO CONFIRM LIFT LOCATIONS AS SHOWN ON THIS DRAWING. IF LIFT LOCATIONS DIFFER, NOTIFY ENGINEER OF RECORD IMMEDIATELY.

SPECIAL INSPECTION REQUIREMENTS:

ITEM	CONTINUOUS	PERIODIC
CONCRETE:		
REINFORCING PLACEMENT		X
ANCHOR RODS & INSERTS		X
PREPARATION OF TEST SPECIMENS	X	
CONCRETE PLACEMENT	X	
EPOXY ANCHOR PLACEMENT		X

SEND REPORTS TO BUILDINGOFFICIAL@COTTAGEGROVE.ORG
JASON BUSH 541952-1456



CAST-IN-PLACE ANCHOR SCHEDULE

TOTAL QTY	TYPE	DETAIL #	"D"	EMBED	LENGTH
24	A	1	7/8"	12"	14 1/4"
4	B	2	5/8"	6"	8 1/4"
8	C	3	5/8"	12"	14 1/4"
8	D	4	1/2"	6"	8 1/4"



ISSUED FOR CONSTRUCTION WITH REVISIONS

MCKENZIE ENGINEERING, LLC
TODD COSTLEY P.E., PRINCIPAL ENGINEER, M: 541-968-3909, www.mckenzieengr.com

NO.	DATE	DESCRIPTION
2	PZL 02/01/22	UPDATED LIFTS & ADDED NOTES
1	PZL 01/14/22	ISSUED FOR REVIEW & COMMENT
0	PZL 11/03/21	ISSUED FOR CONSTRUCTION

CLIENT: COTTAGE GROVE CHEVROLET GMC
2775 ROW RIVER RD
ADDRESS: COTTAGE GROVE, OR 97424

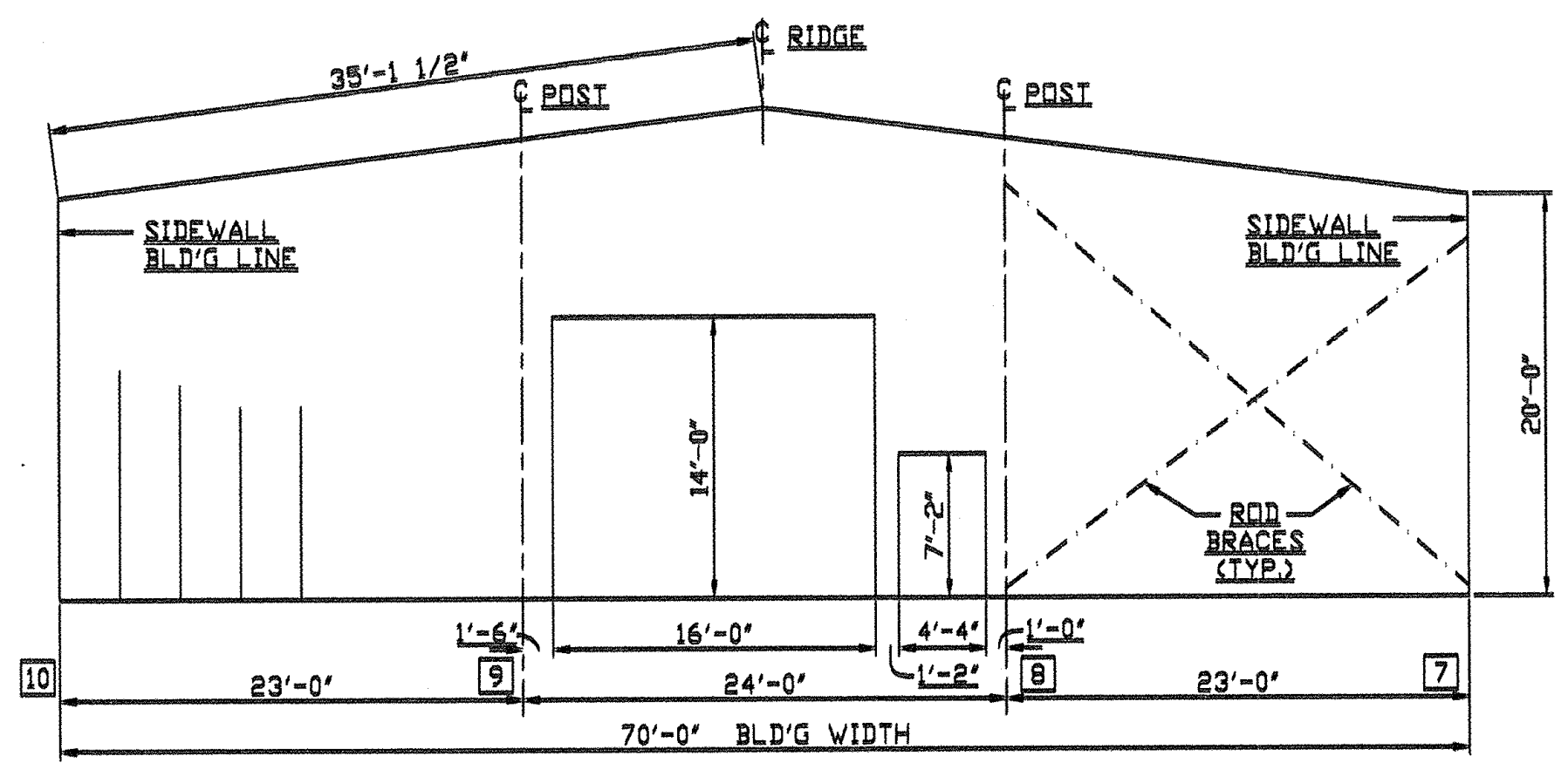
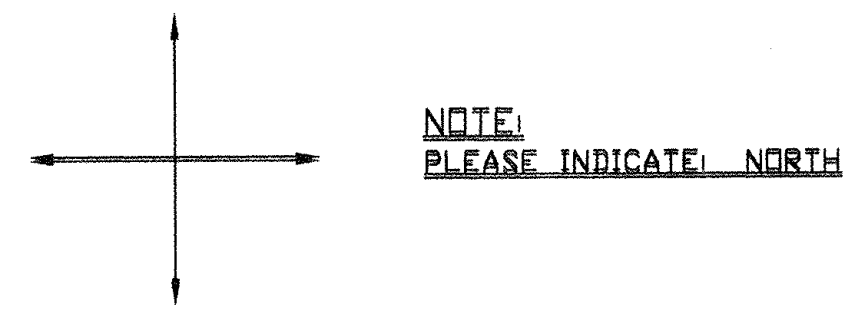
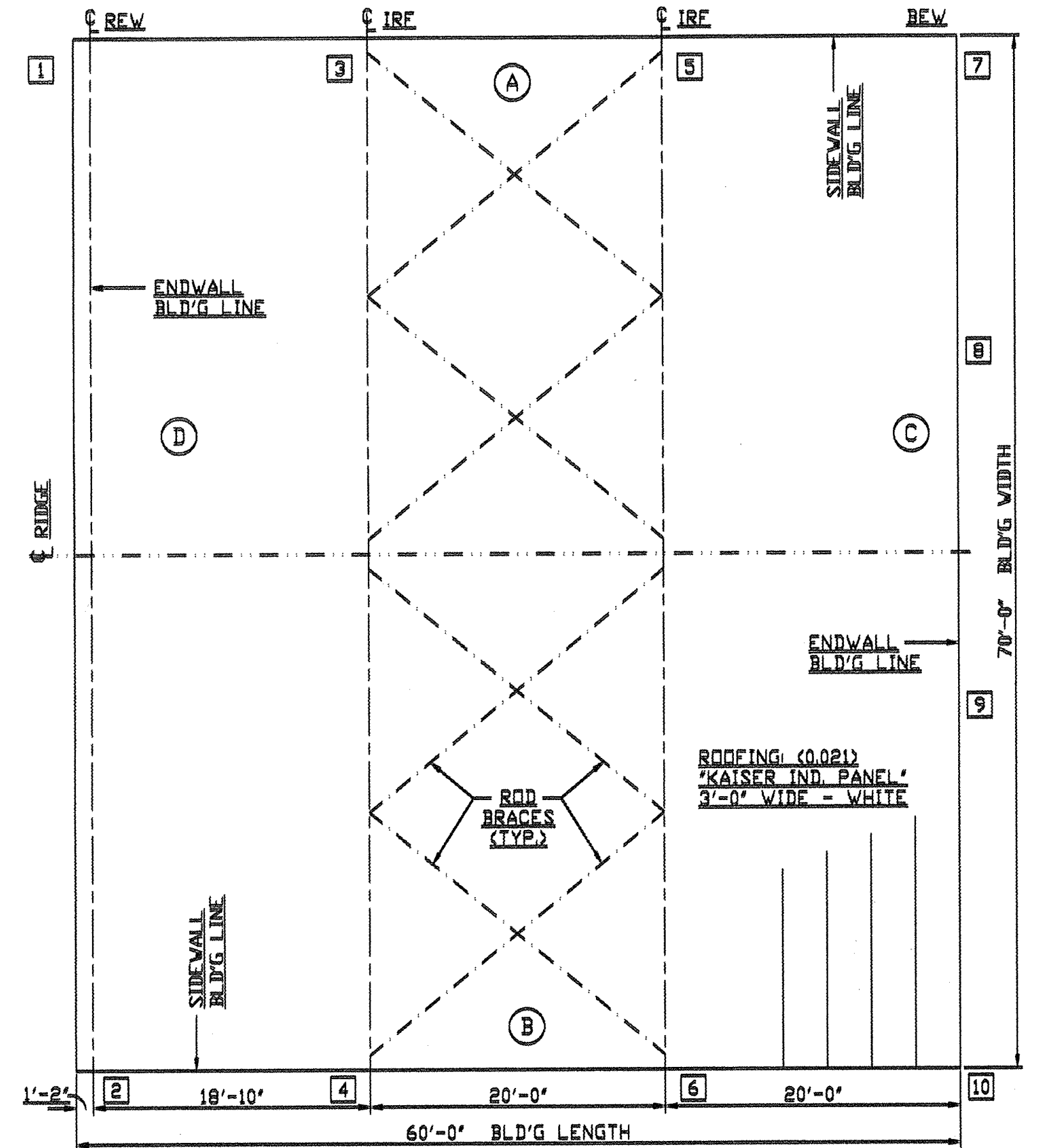
ENGINEER: TAC
DESIGNER: TAC
DRAWN: PZL
DATE: 10/20/21

PINPOINT DRAFTING + DESIGN
ZACH LEMMONS (503) 852-3192, zlemmons@pinpointdraft.com, PDD JOB # 1006

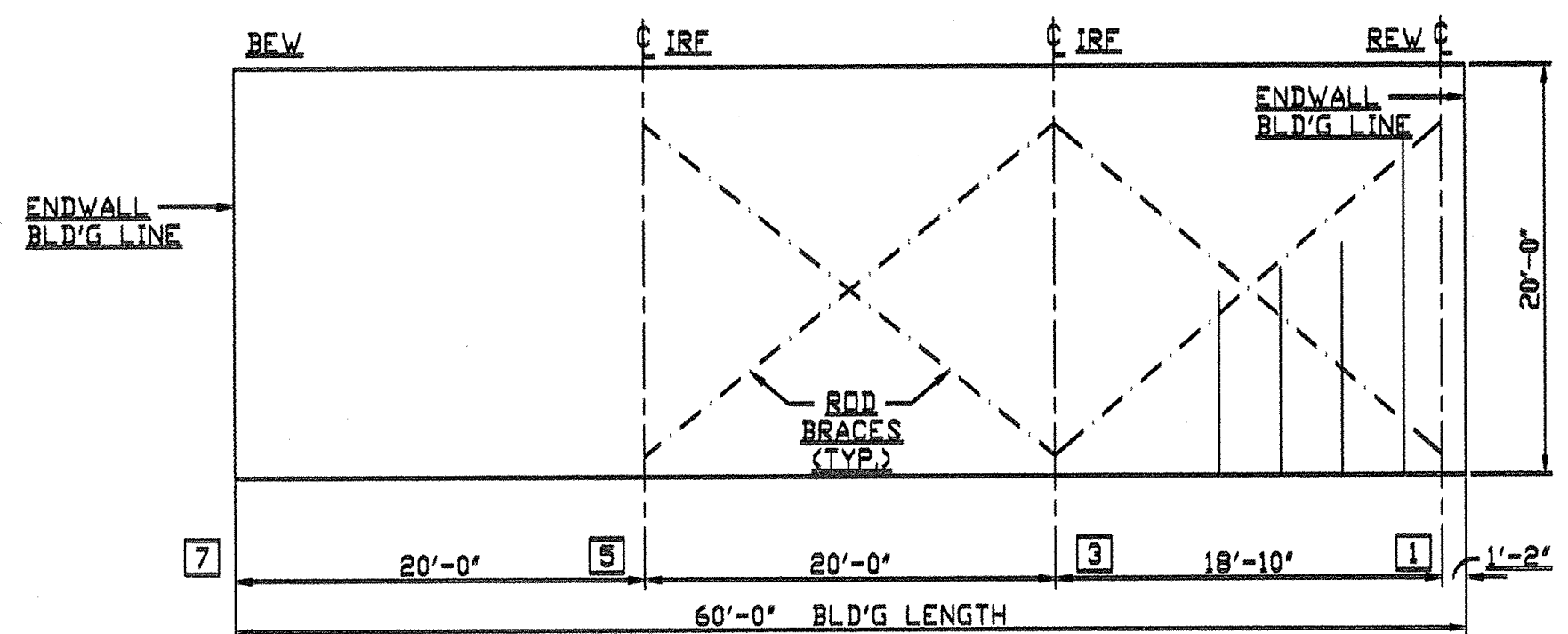
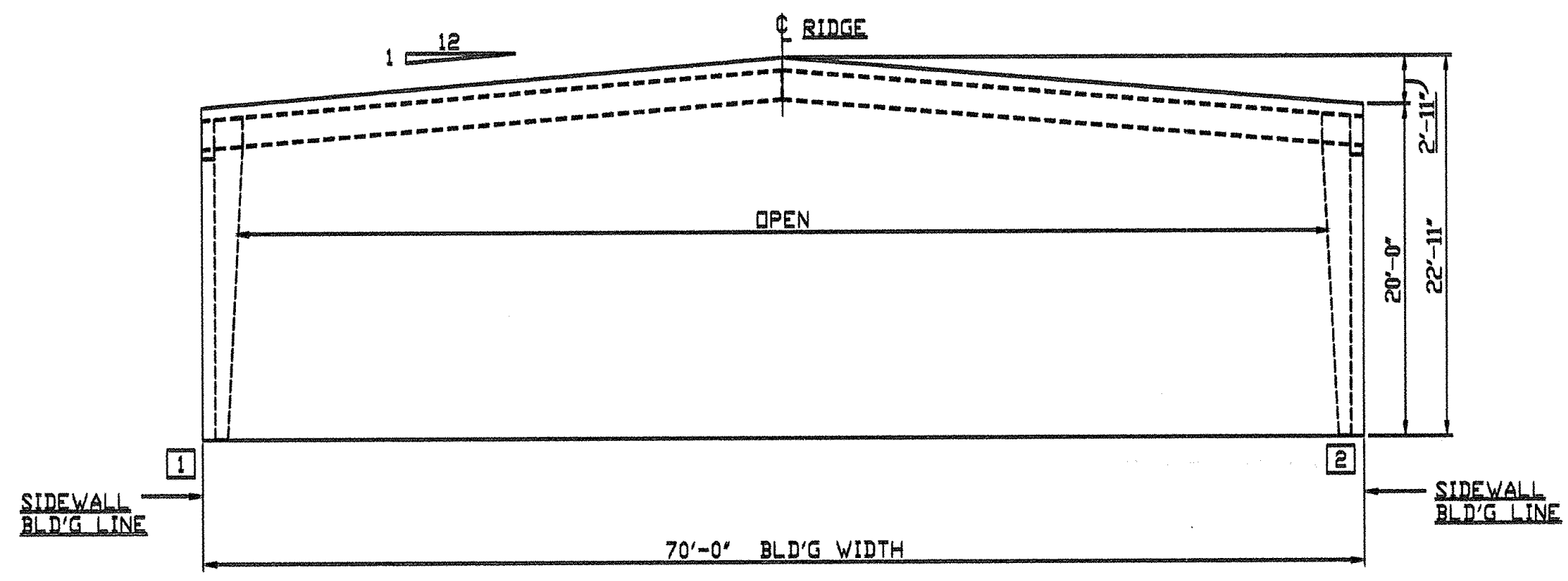
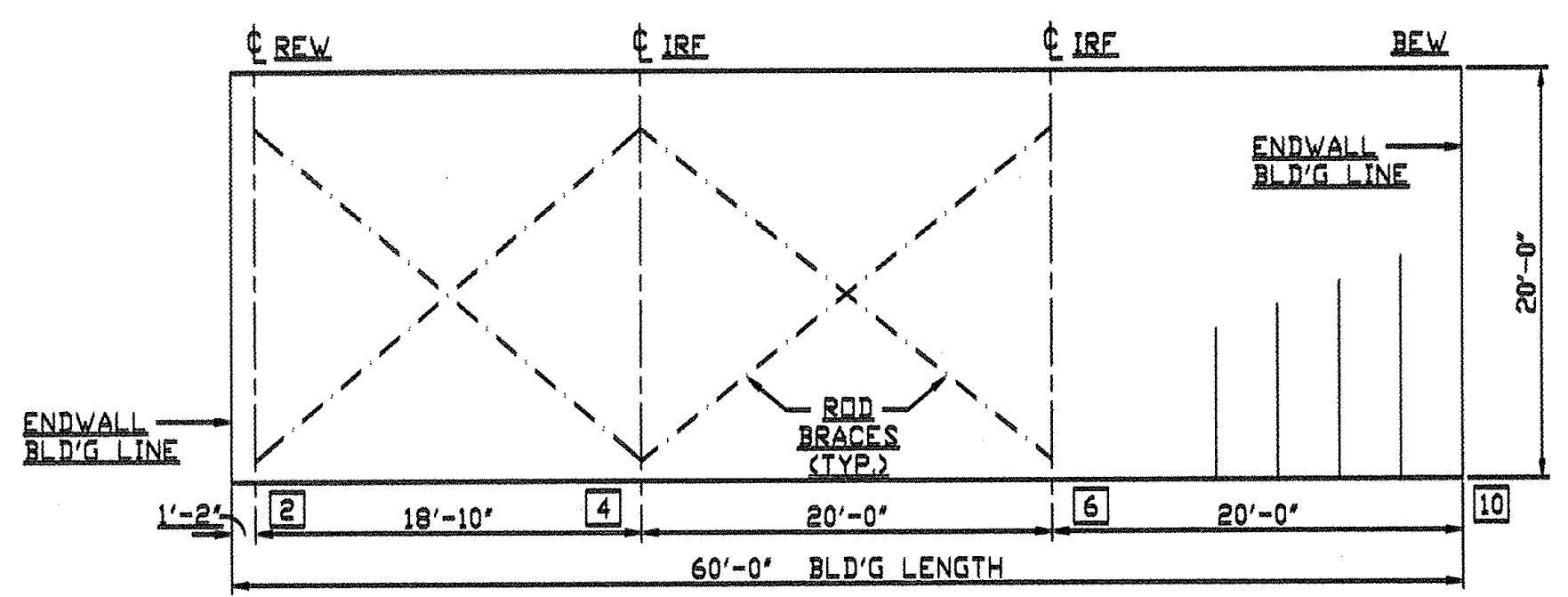
TITLE:	SCALE:	JOB #:	DRAWING #:	REV:
FACILITY UPDATE PEMB FOUNDATION PLAN & DETAILS	D	1029	S101	2

EXHIBIT C

REX PRATER, AIA
Project Architect
BALANCE architecture+design, p.c.
541-914-1733
rex@balancearchitecturepc.com



SIDING: (0.021)
KAISER IND. PANEL
3'-0" WIDE - T. BLUE
TRIM - WHITE



MAE Engineering
1355 Oak Street, Suite 200
Eugene, OR 97401
www.mae-engineers.com
541-484-9080
W.O. # 22879
10-15-2021

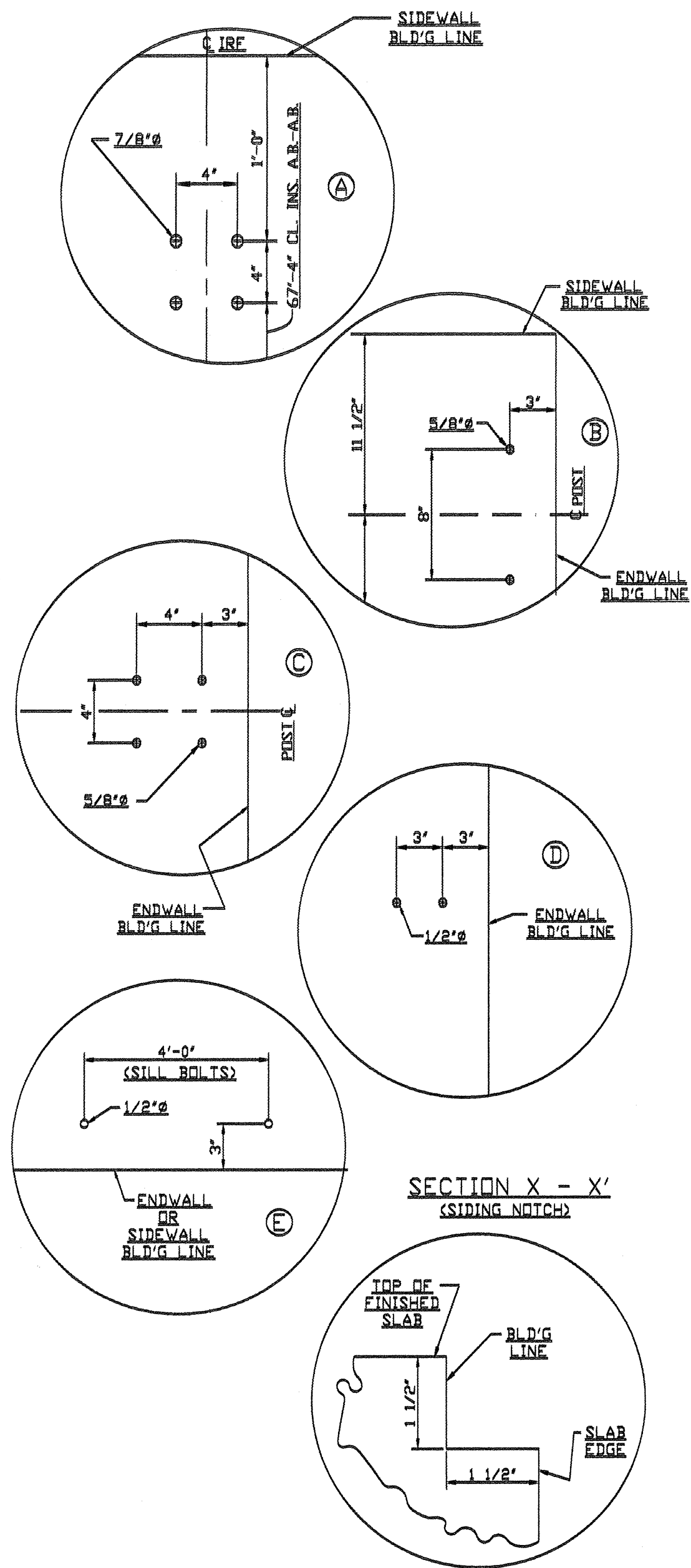
PROFESSIONAL ENGINEER
88115PE
OREGON
July 12, 2018
Brian D. Overstake
10.18.2021 EXP 12/22

BUILDER: BRIDGEWAY CONTRACTING		APPROVED BY: #1738-10	
SCALE: 1"=10'-0"	DATE: 6-21-21	DRAWN BY: CH	REVISED:
GENERAL LAYOUT & ELEVATIONS			
KAISER STEEL BUILDINGS, LLC.		DRAWING NUMBER	

10-4-21 CH
9-17-21 CH
9-8-21 CH

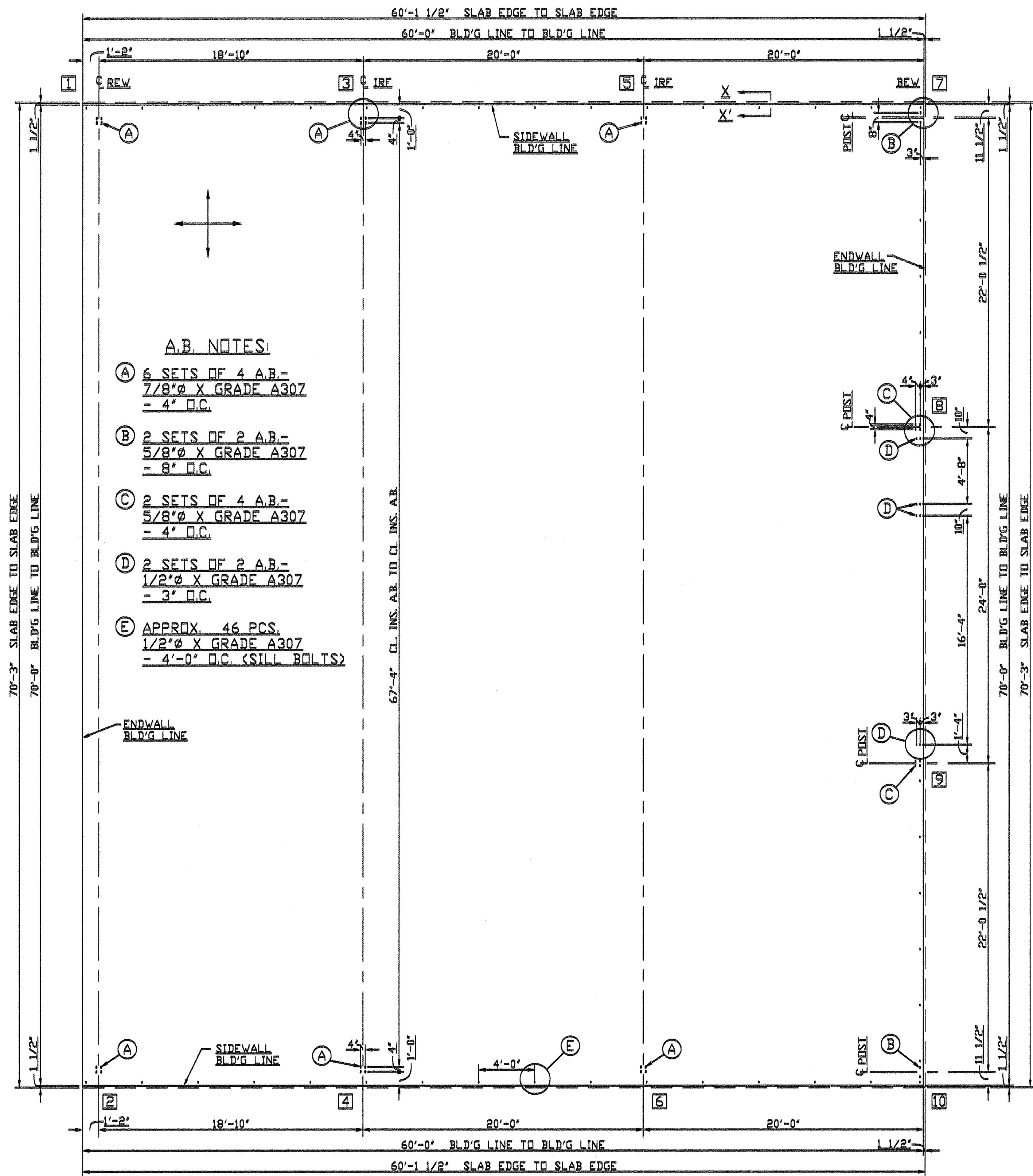
COTTAGE GROVE CHEVROLET GMC
2775 ROW RIVER RD
COTTAGE GROVE OR
97424

SHEET TITLE:
STEEL BUILDING ENGINEERING



SECTION X - X'
 (SIDING NOTCH)

- A.B. NOTES:**
- (A) 6 SETS OF 4 A.B. = 7/8" X GRADE A307 = 4' O.C.
 - (B) 2 SETS OF 2 A.B. = 5/8" X GRADE A307 = 8' O.C.
 - (C) 2 SETS OF 4 A.B. = 5/8" X GRADE A307 = 4' O.C.
 - (D) 2 SETS OF 2 A.B. = 1/2" X GRADE A307 = 3' O.C.
 - (E) APPROX. 46 PCS. 1/2" X GRADE A307 = 4'-0" O.C. (SILL BOLTS)



REGISTERED PROFESSIONAL ENGINEER
 8611 S.P.E.
 OREGON
 July 12, 2016
 Brian D. Overstreet
 10.18.2021 EHP 12/22

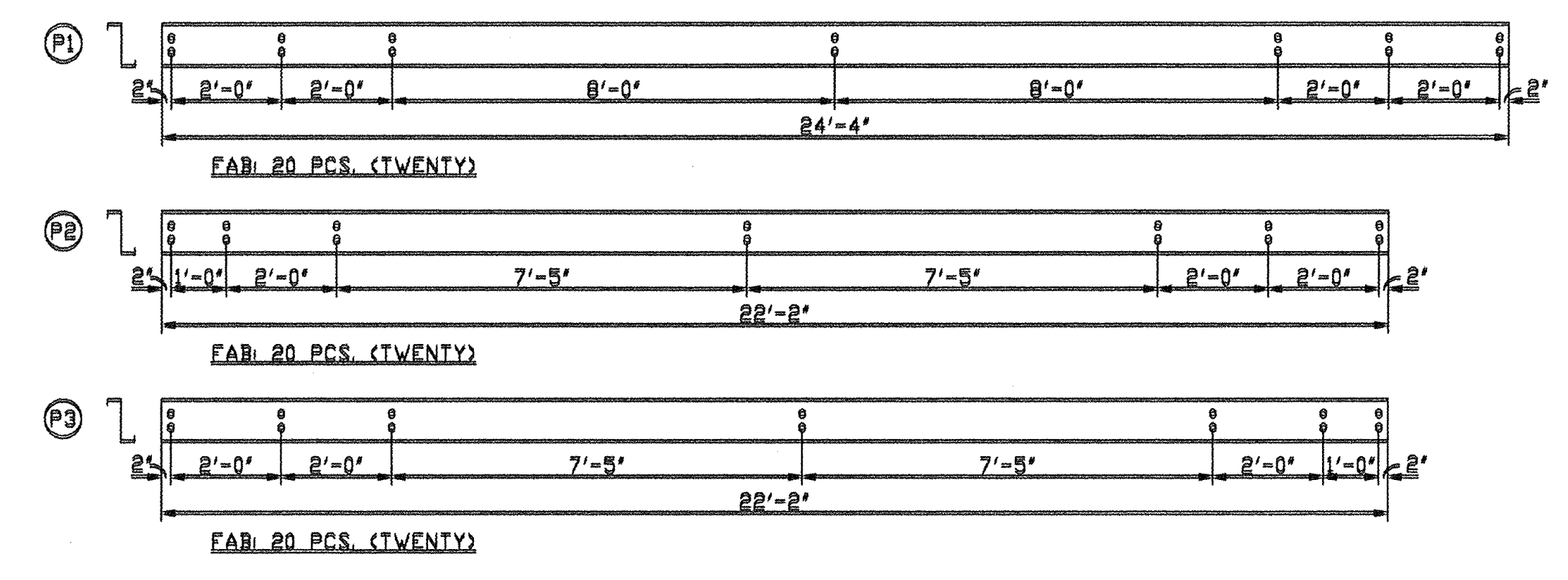
MAE Engineering
 1355 Oak Street, Suite 200
 Eugene, OR 97401
 www.mae-engineers.com
 541-484-9080
 W.O.# 22879
 10-15-2021

BUILDER: BRIDGEWAY CONTRACTING		
SCALE: 1"=6'-0"	APPROVED BY: #1738-20	DRAWN BY: CH
DATE: 10-1-21		REVISED:
ANCHOR BOLT LAYOUT		
KAISER STEEL BUILDINGS, LLC.		DRAWING NUMBER

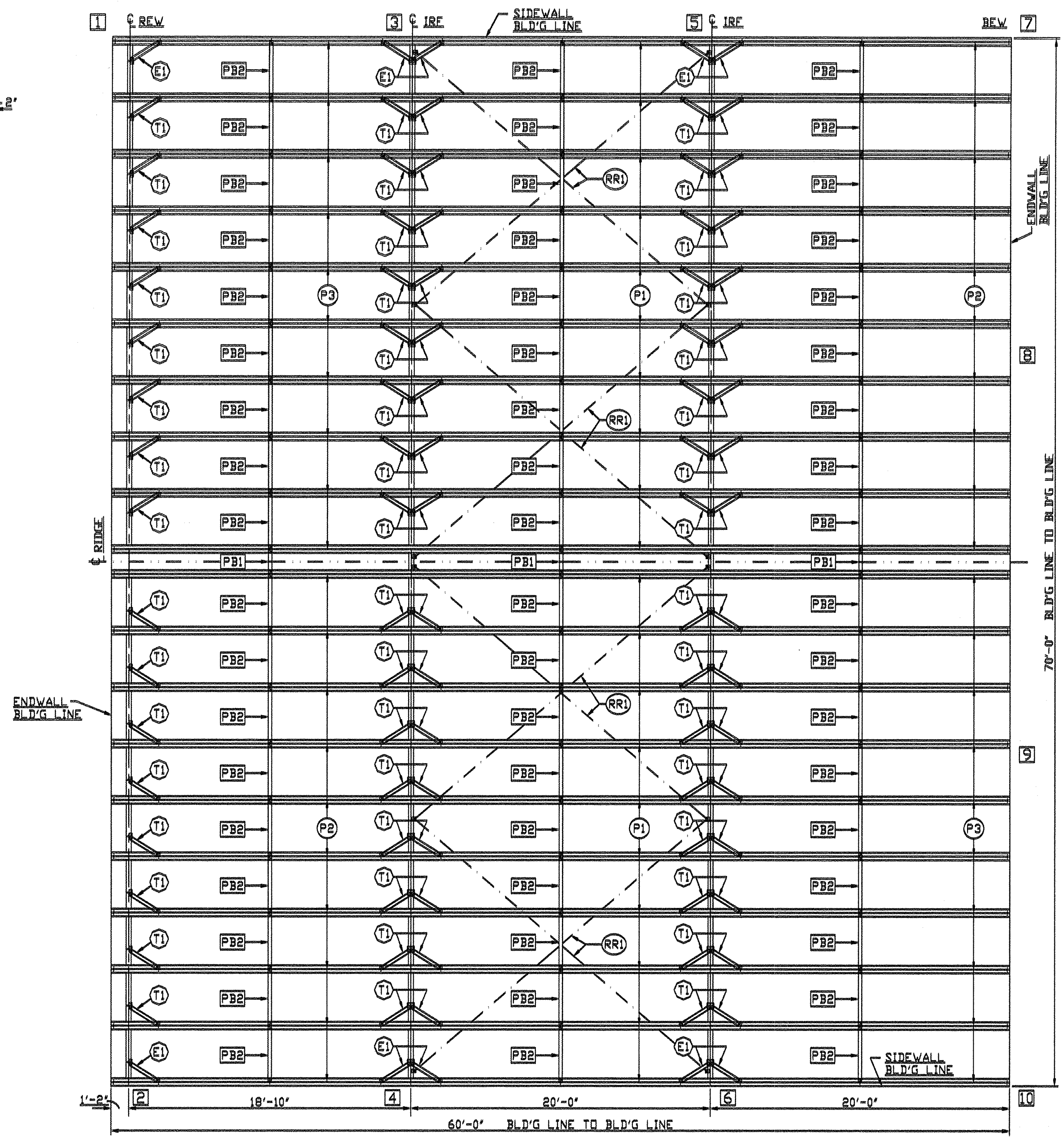
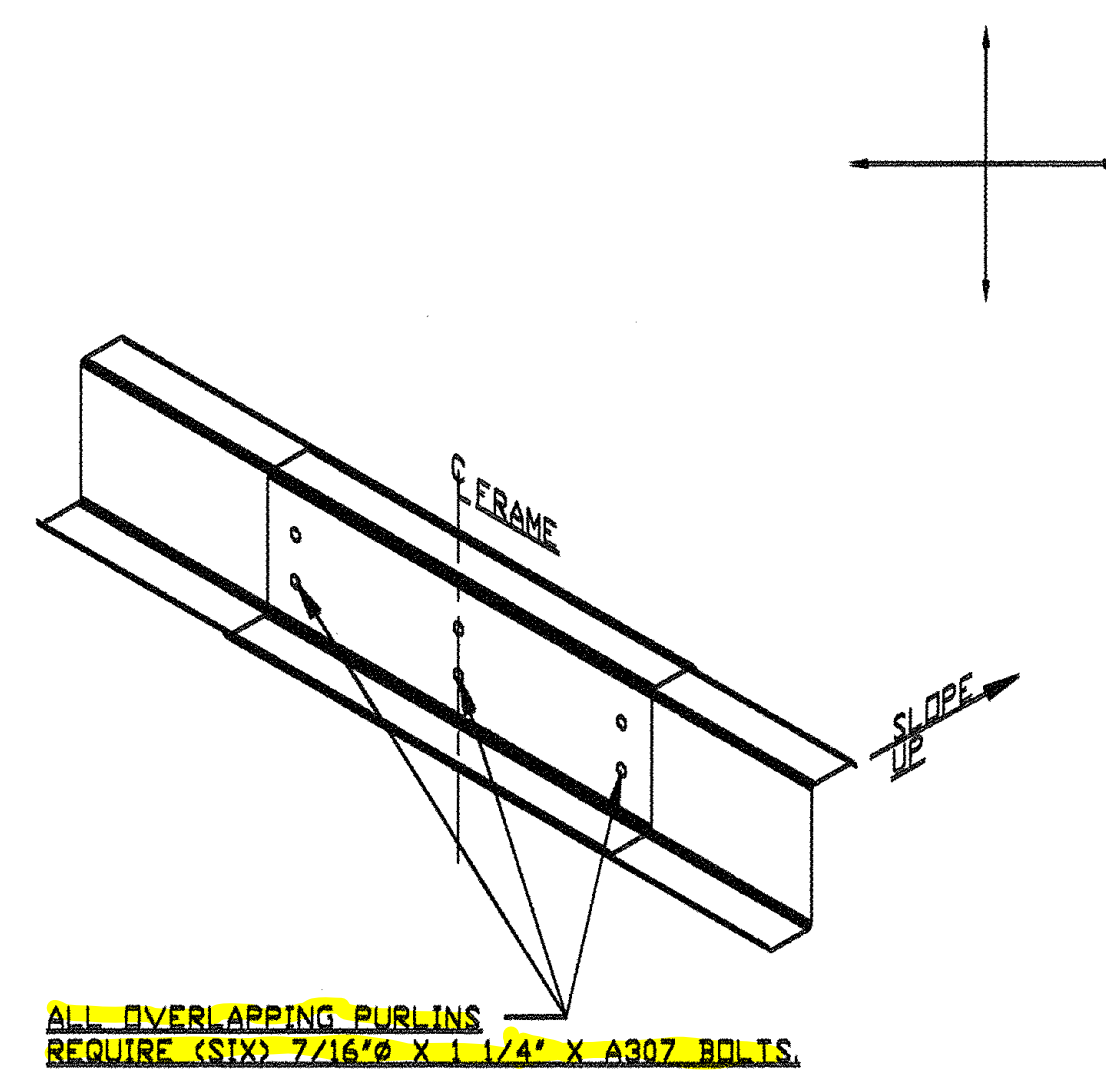
COTTAGE GROVE CHEVROLET GMC
 2775 ROW RIVER RD
 COTTAGE GROVE OR
 97424

SHEET TITLE:
STEEL BUILDING ENGINEERING

10-4-21 CH



(RR) 1/2"Ø ROD BRACES, LENGTH = 25'-6 1/8"
 (PB1), (PB2) PURLIN BRACES, (TYP.)
 (E1), (T1) EAVE & TRUSS BRACES, (TYP.)



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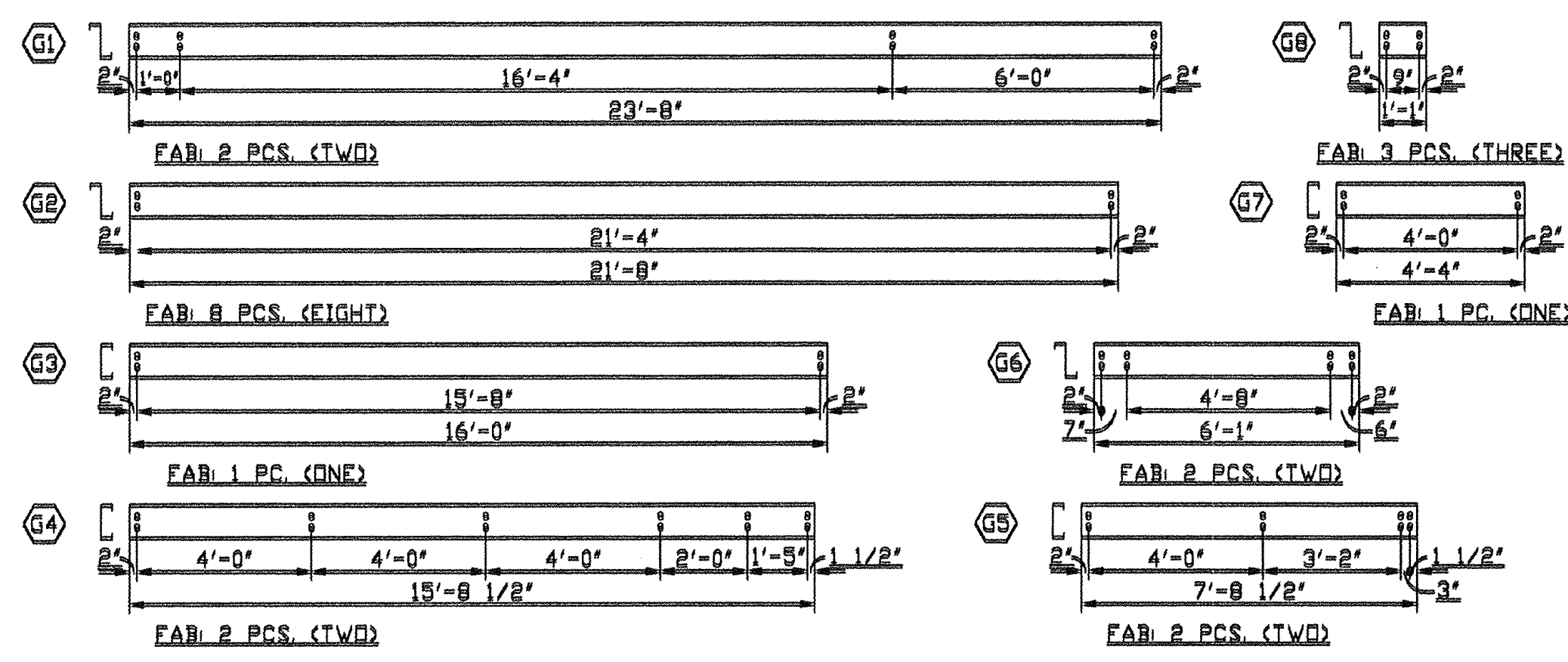
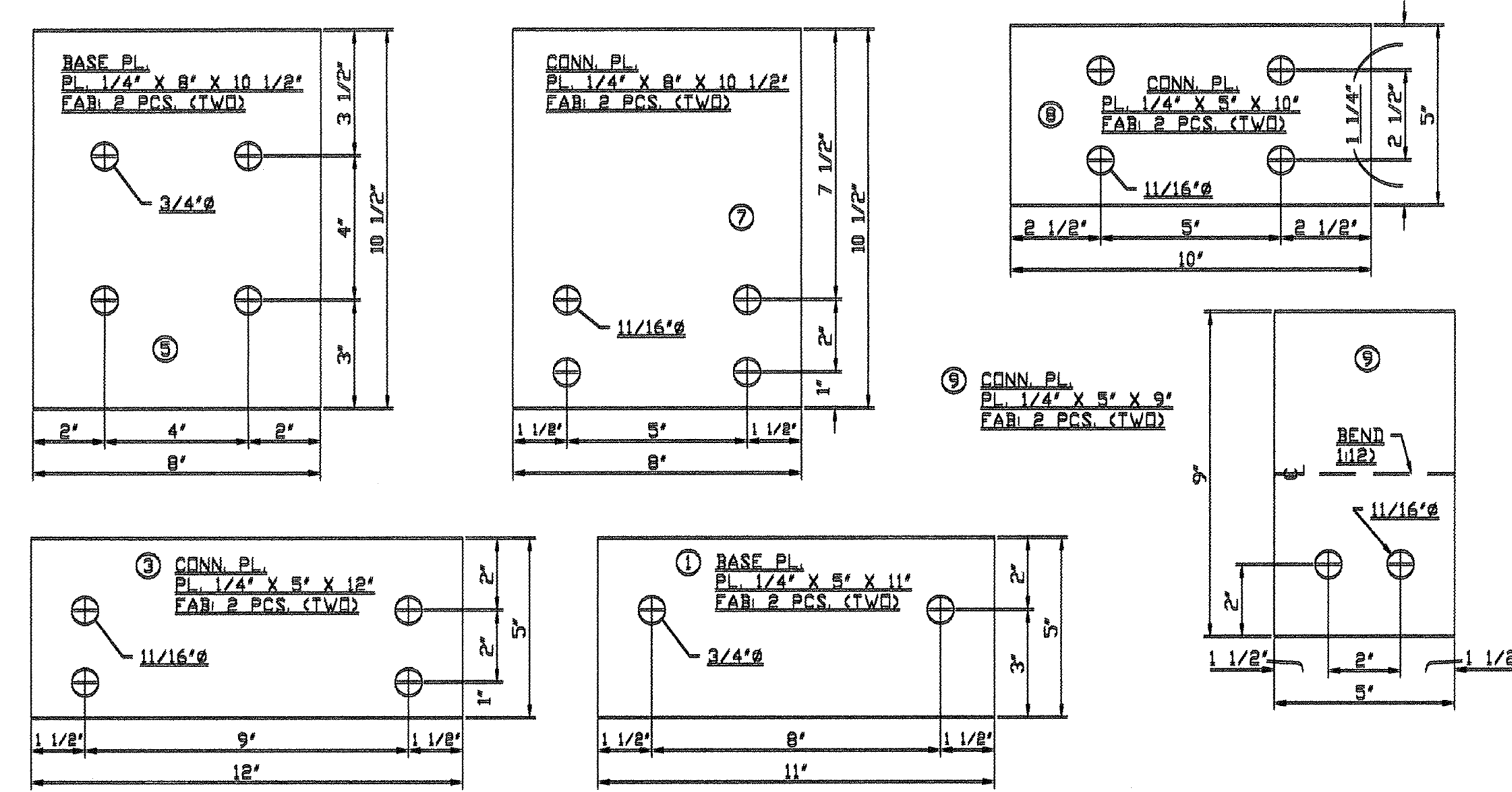
10-4-21 CH

BUILDER: BRIDGEWAY CONTRACTING		
SCALE: 1"=6'-0"	APPROVED BY: #1738-30	DRAWN BY: CH
DATE: 10-4-21		REVISED:
ROOF FRAMING		
KAISER STEEL BUILDINGS, LLC.		DRAWING NUMBER

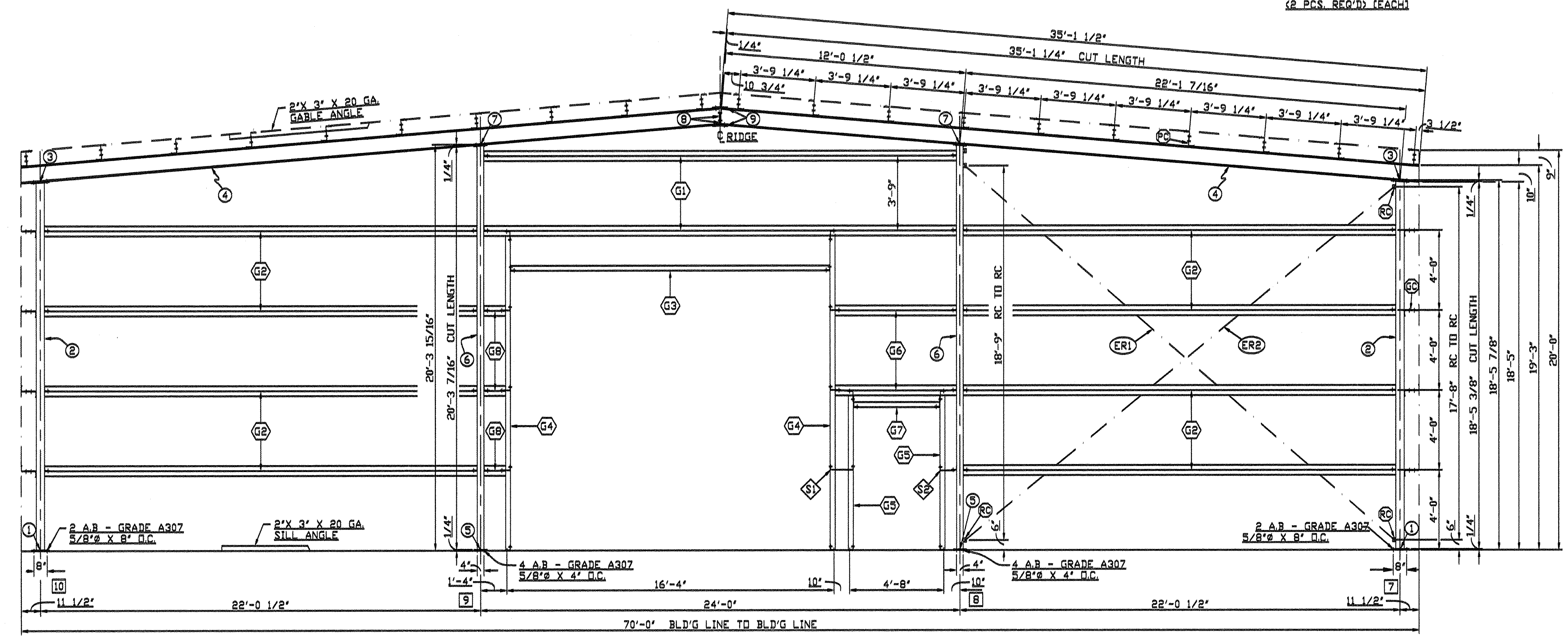
**COTTAGE GROVE
 CHEVROLET GMC**
 2775 ROW RIVER RD
 COTTAGE GROVE OR
 97424

SHEET TITLE:
**STEEL BUILDING
 ENGINEERING**

REX PRATER, AIA
 Project Architect
 BALANCE architecture+design, p.c.
 541-914-1733
 rex@balancearchitecturepc.com



- NOTES:
- TRUSS - TRUSS CONN. PL. 5/8"Ø X 1 3/4" X GRADE A307 (8 PCS. REQ'D)
 - POST - TRUSS CONN. PL. 5/8"Ø X 1 3/4" X GRADE A307 (4 PCS. REQ'D) (EACH)
 - ROD BRACE CONN. 5/8"Ø X 1 3/4" X GRADE A307 (2 PCS. REQ'D) (EACH)
 - ER1 1/2"Ø ROD BRACES LENGTH = 28'-6 5/16"
 - ER2 1/2"Ø ROD BRACES LENGTH = 27'-9 15/16"
 - LS LOOSE CLIP - (1") (3' X 14')
 - LD LOOSE CLIP - (X-LONG) (3' X 9')



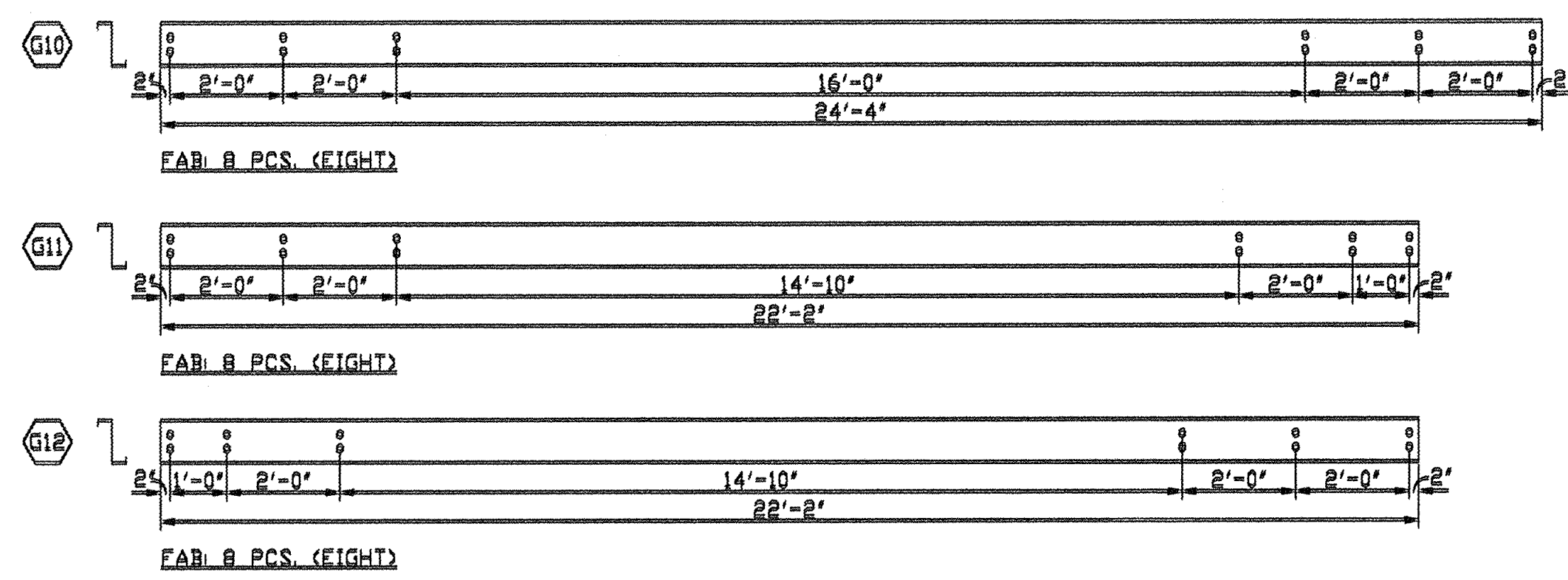
REGISTERED PROFESSIONAL ENGINEER
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 84115PE
 MAE Engineering
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 Eugene, OR 97401
 www.mae-engineers.com
 484-9080
 W.O. # 22879
 10-15-2021

10-4-21 CH

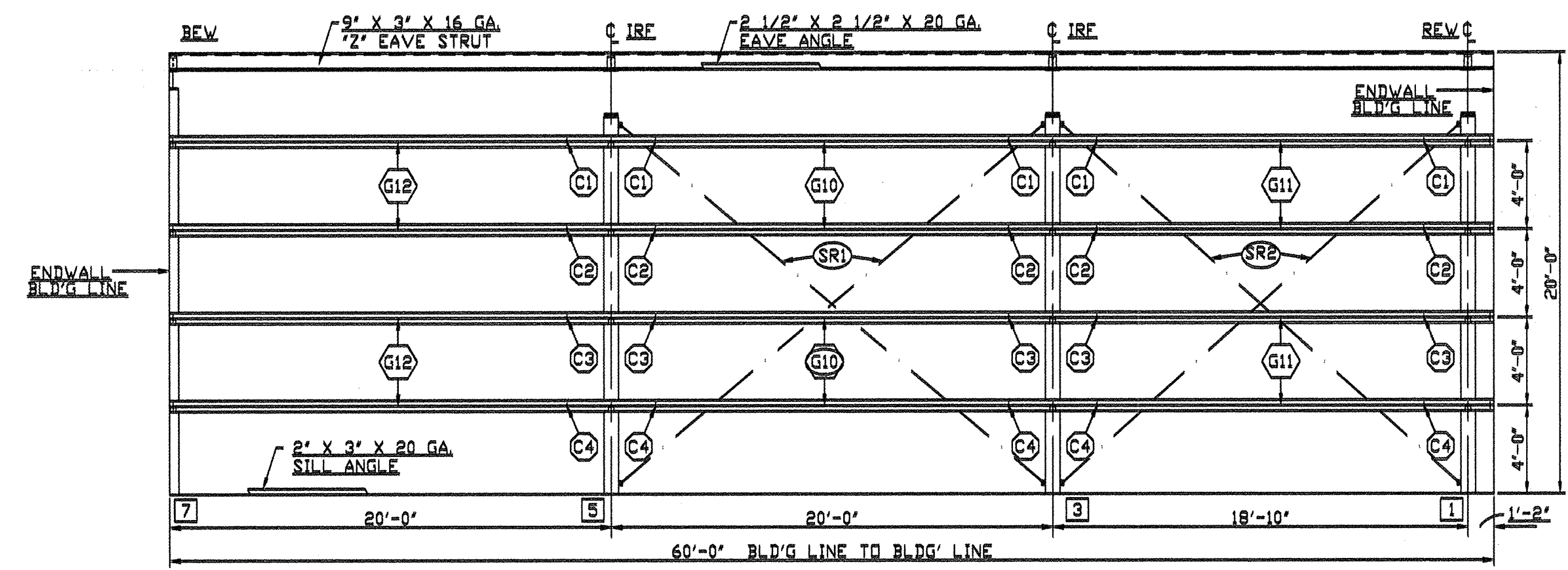
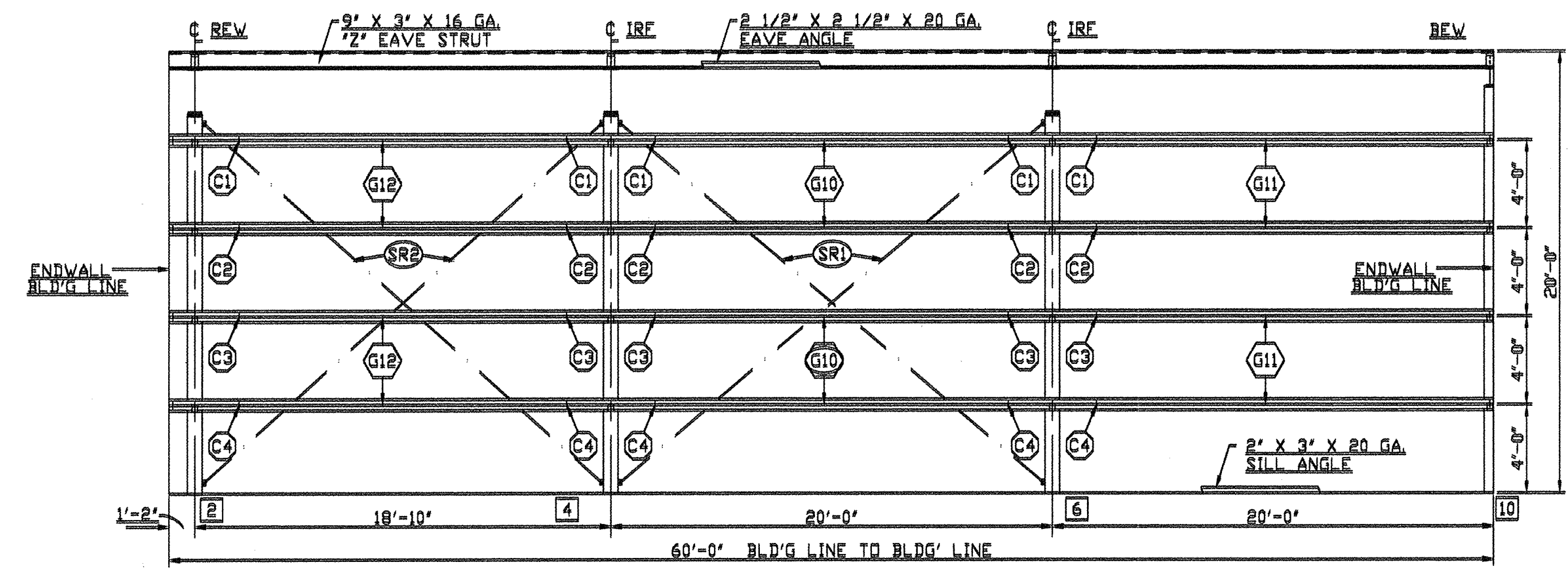
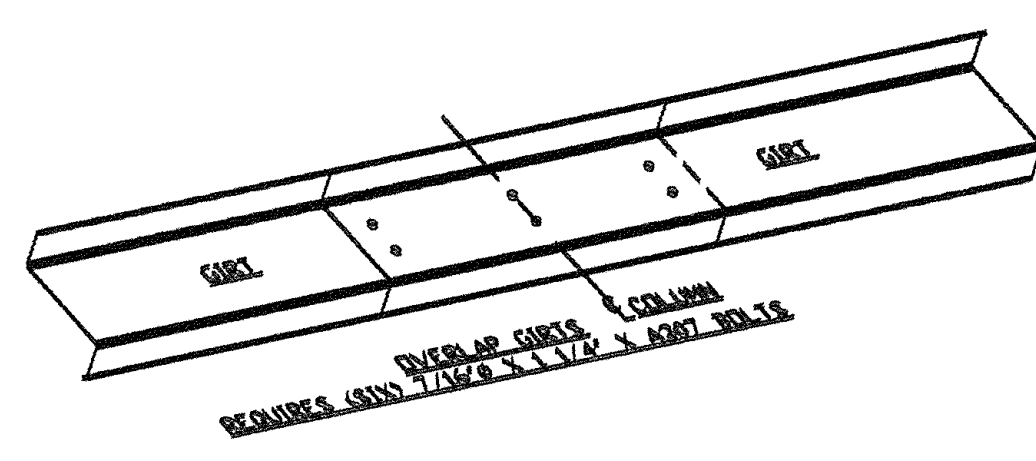
BUILDER: BRIDGEWAY CONTRACTING		
SCALE: 1"=4'-0"	APPROVED BY: #1738-40	DRAWN BY: CH
DATE: 9-28-21		REVISED:
© ENDWALL FRAMING		
KAISER STEEL BUILDINGS, LLC.		DRAWING NUMBER:

COTTAGE GROVE CHEVROLET GMC
 2775 ROW RIVER RD
 COTTAGE GROVE OR
 97424

SHEET TITLE:
STEEL BUILDING ENGINEERING



- (SR1) 1/2"Ø ROD BRACES, LENGTH = 25'-1 9/16"
- (SR2) 1/2"Ø ROD BRACES, LENGTH = 24'-3"
- (C1) COLUMN BRACES (TYP.)
- (C2) COLUMN BRACES (TYP.)
- (C3) COLUMN BRACES (TYP.)
- (C4) COLUMN BRACES (TYP.)



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 W.O. # 22879
 10-15-2021

REGISTERED PROFESSIONAL ENGINEER
 OREGON
 88115PE
 Brian D. Overstake
 July 12, 2016
 10.18.2021

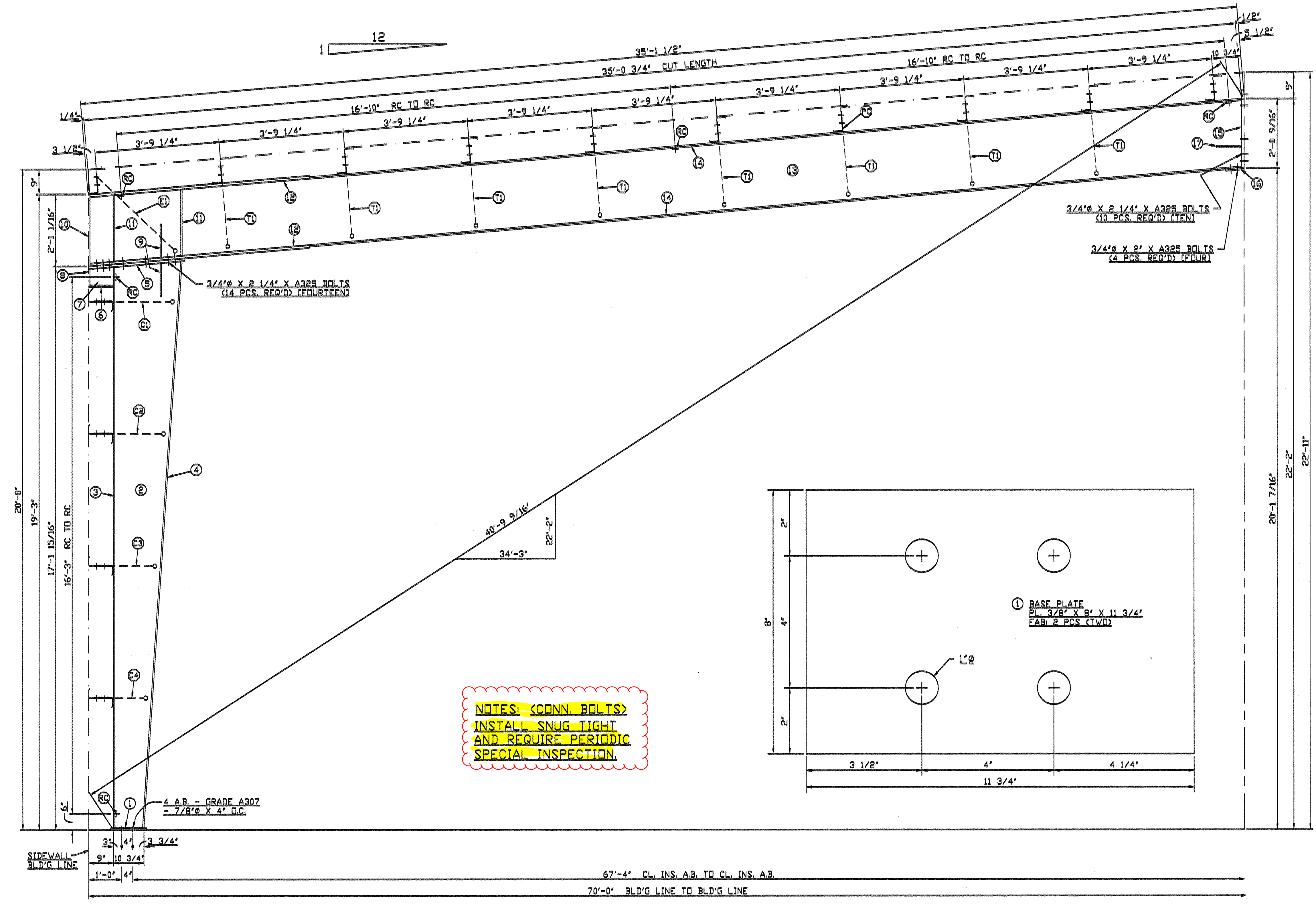
BUILDER: BRIDGEWAY CONTRACTING		
SCALE: 1" = 6'-0"	APPROVED BY: #1738-60	DRAWN BY: CH
DATE: 10-1-21		REVISED:
SIDEWALL FRAMINGS		
KAISER STEEL BUILDINGS, LLC.		DRAWING NUMBER:

COTTAGE GROVE CHEVROLET GMC
 2775 ROW RIVER RD
 COTTAGE GROVE OR
 97424

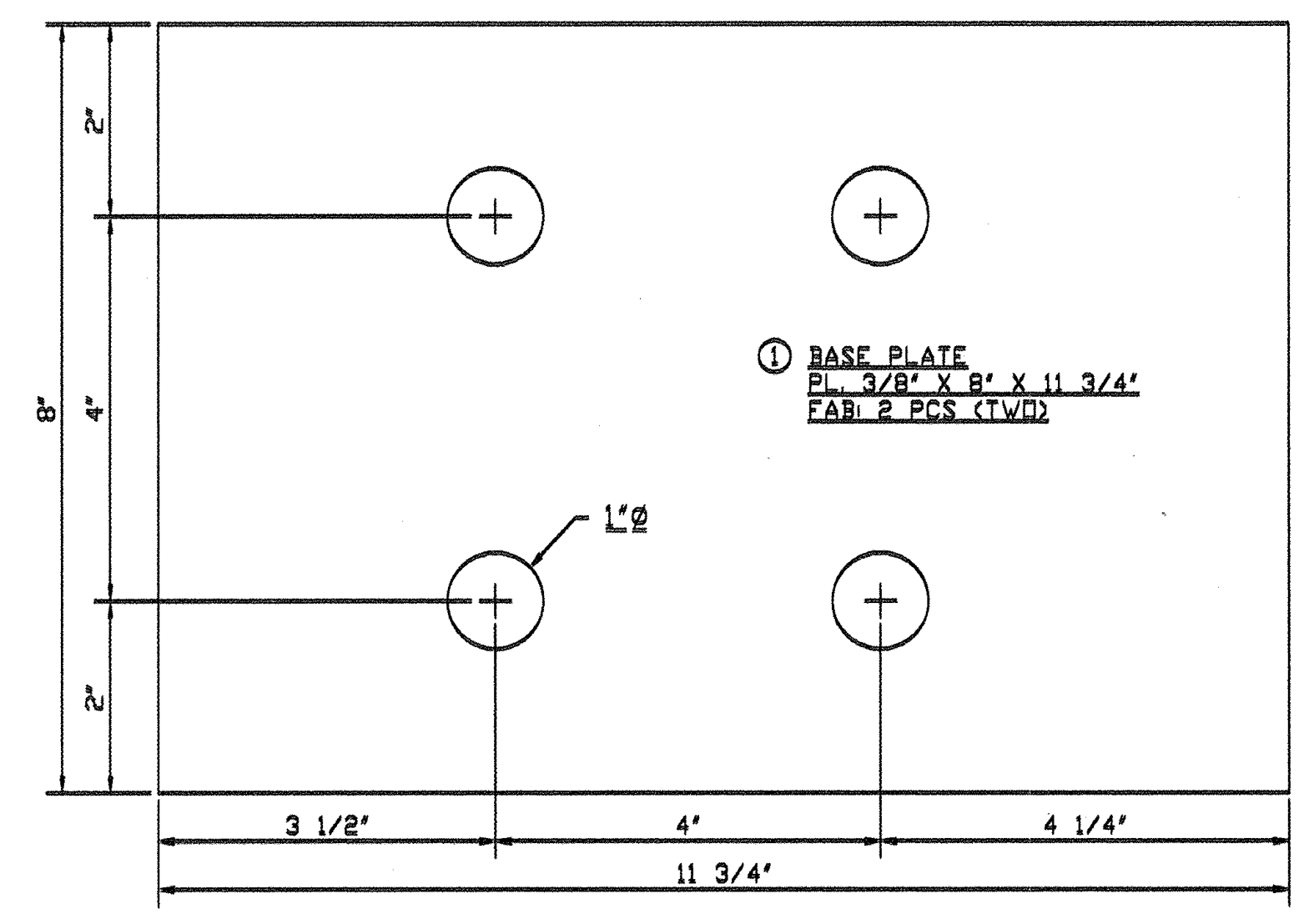
SHEET TITLE:
STEEL BUILDING ENGINEERING

S205

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 Project Architect
 BALANCE architecture+design, p.c.
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 rex@balancearchitecturepc.com



NOTES: (CONN. BOLTS)
 INSTALL SNUG TIGHT
 AND REQUIRE PERIODIC
 SPECIAL INSPECTION.

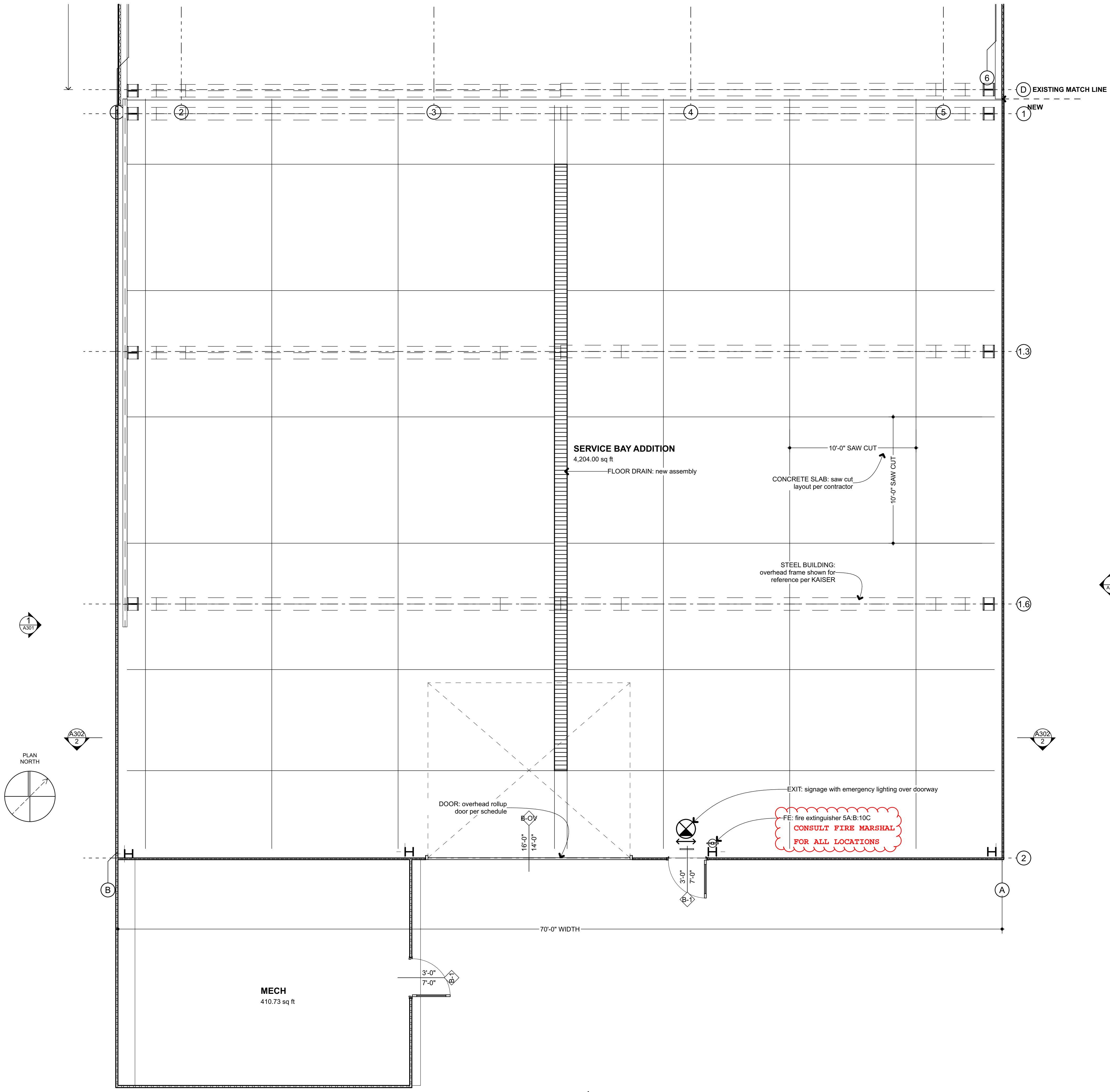


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 www.mae-engineers.com
 541-484-9080
 W.O. # 22879
 10-15-2021

BUILDER: BRIDGEWAY CONTRACTING		
SCALE: 1"=2'-0"	APPROVED BY: #1738-90 (13-082-3C)	DRAWN BY: CH
DATE: 9-28-21		REVISED:
RFEA0 - 7020 - 40/500/329 (-)492		
KAISER STEEL BUILDINGS, LLC.		DRAWING NUMBER

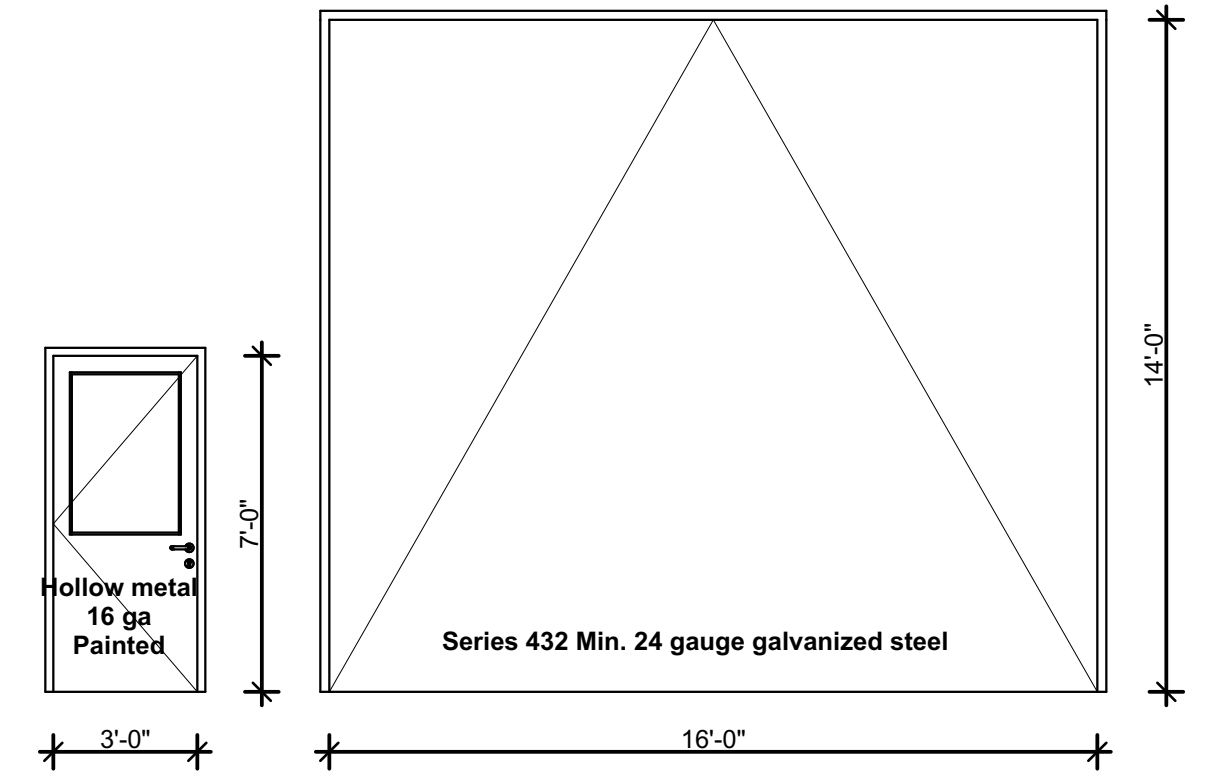
**COTTAGE GROVE
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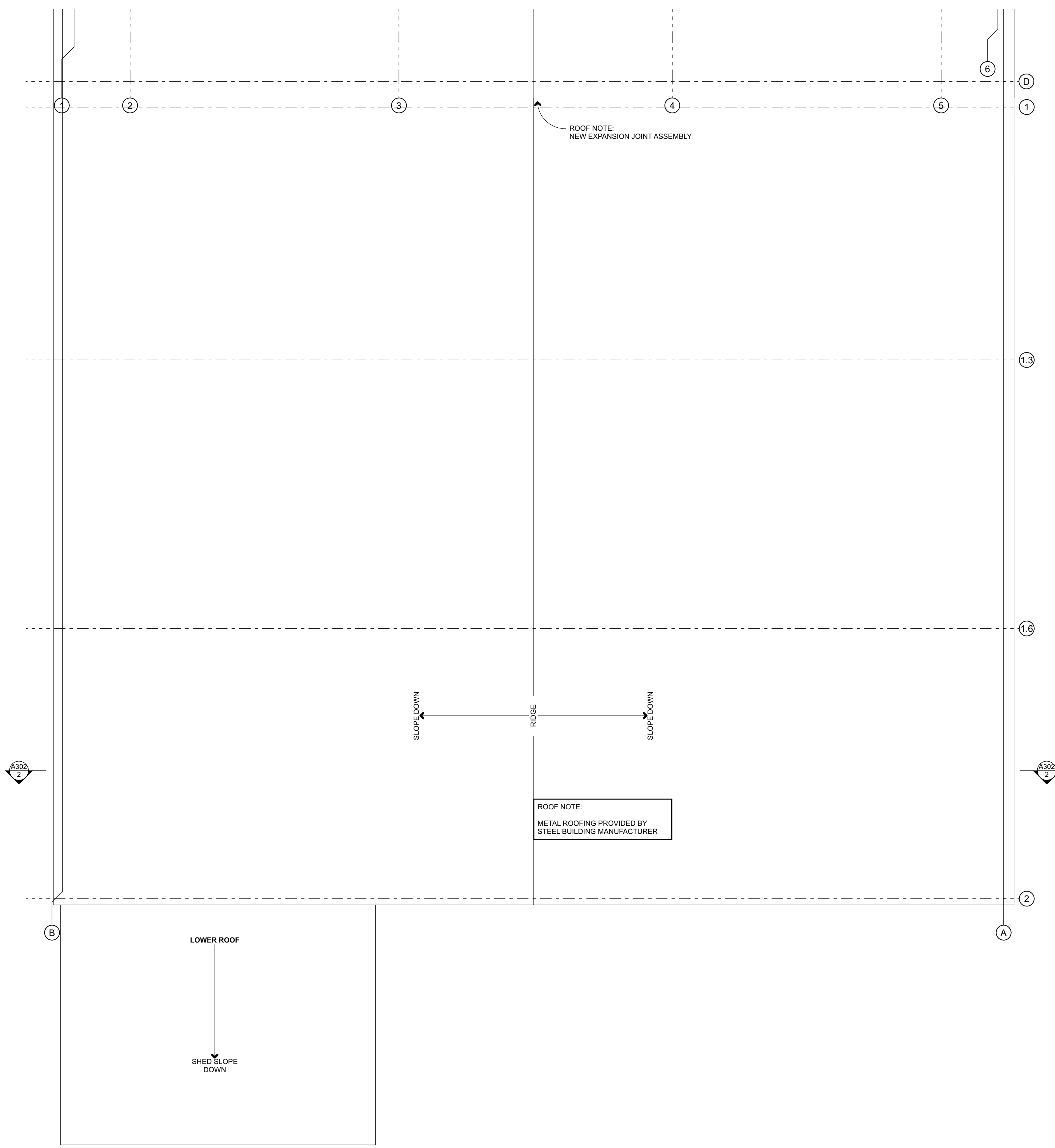
SHEET TITLE:
**STEEL BUILDING
 ENGINEERING**



BAY DOOR SCHEDULE				
ID	QTY	WIDTH	HEIGHT	HARDWARE
B-1	2	3'-0"	7'-0"	Ceco DoorDrip edge & Latch Guard, Weather Stripping * • Weather Threshold * • Sweep * • Automatic Closer, HARDWARE: Brushed Chrome, Five knuckle ball bearing standard weight full mortise butt, locksets standard interchangeable cores, Stanley 7KC and 9K Se
B-OV	1	16'-0"	14'-0"	HD electric operator with interior push button control, Insulated, R 7.35, 3" Track, 100,000 cycle springs, Jamb, Top + bottom weather seals, glazing panels per OWNER, HD electric operator with interior push button control
3				

DOOR LEGEND		
KEY	B-1	B-OV
Unit Dimensions	3'-4" x 7'-2"	16'-4" x 14'-2"





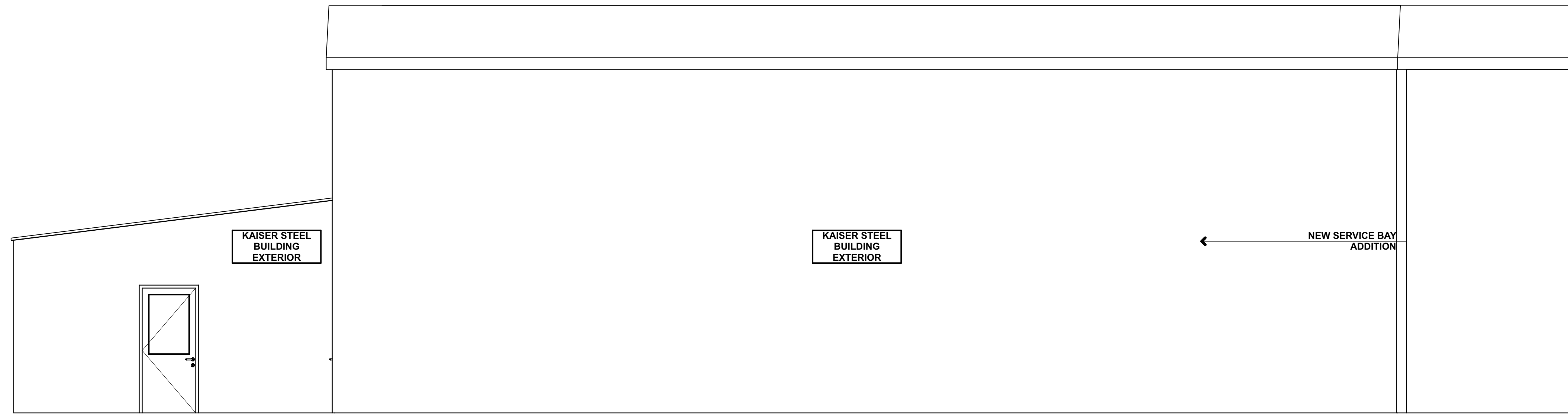
**COTTAGE GROVE
 CHEVROLET GMC**

2775 ROW RIVER RD
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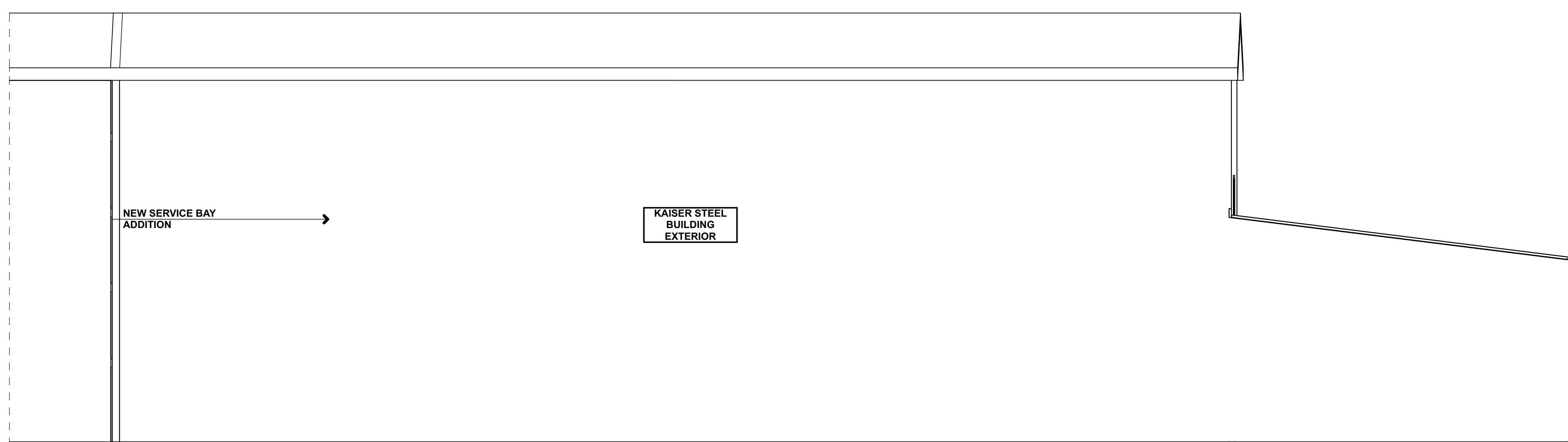
SHEET TITLE:

ROOF PLAN

A120



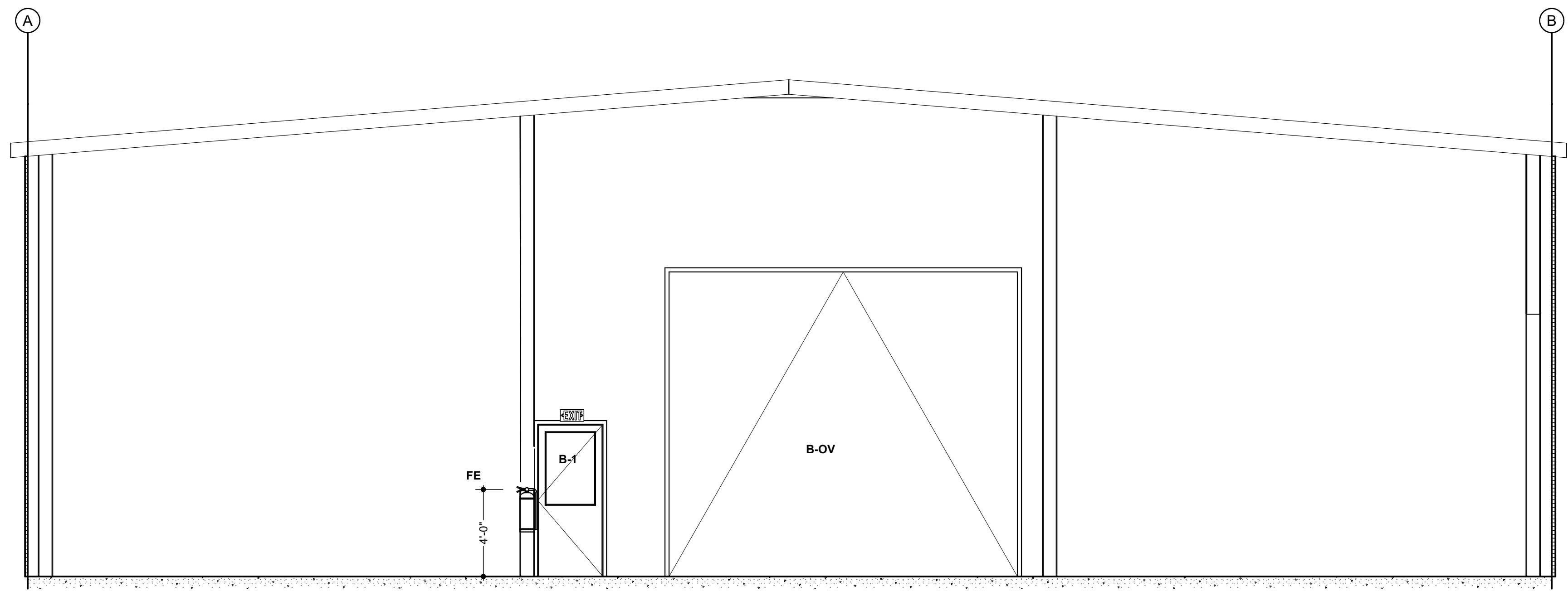
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 A301 1 E BAY ELEVATION
 SCALE: 1/4" = 1'-0"



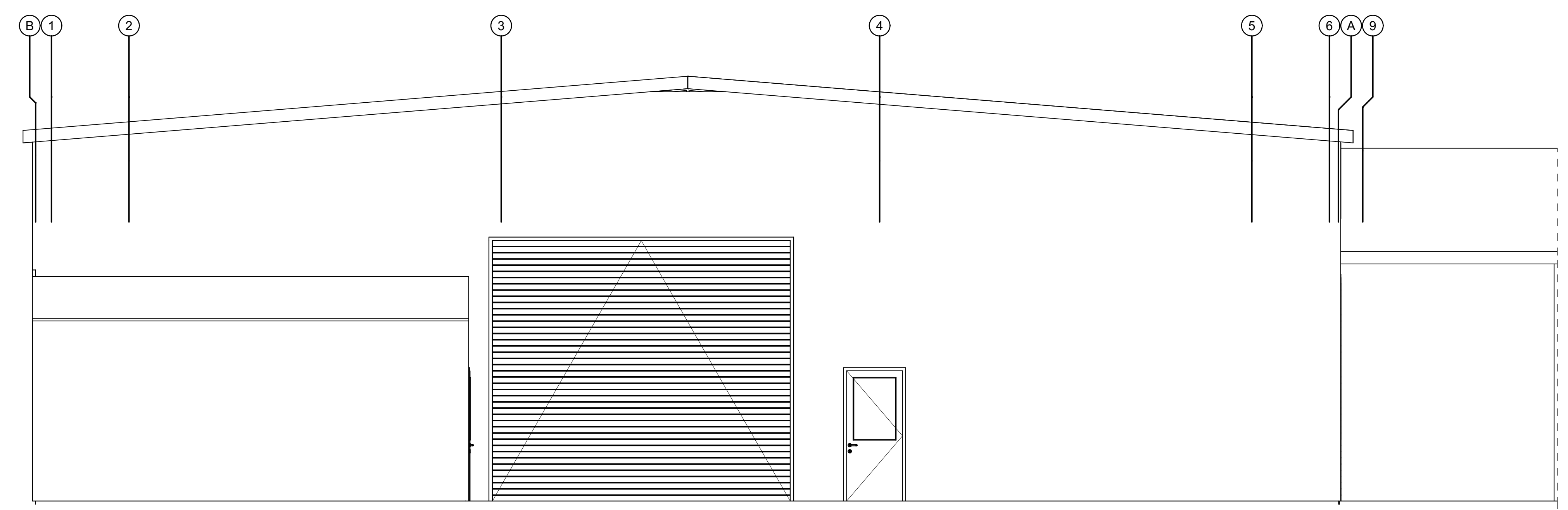
1
 A301 2 W BAY ELEVATION
 SCALE: 1/4" = 1'-0"

**COTTAGE GROVE
 CHEVROLET GMC**
 2775 ROW RIVER RD
 COTTAGE GROVE OR
 97424

SHEET TITLE:
**BUILDING
 ELEVATIONS**



2 BUILDING SECTION - SERVICE BAY ADDITION
 A302 SCALE: 1/4" = 1'-0"



1 3 S BAY ELEVATION
 A302 SCALE: 1/4" = 1'-0"

**COTTAGE GROVE
 CHEVROLET GMC**
 2775 ROW RIVER RD
 COTTAGE GROVE OR
 97424

SHEET TITLE:

**BUILDING
 ELEVATION,
 SECTION**

A302

Location of addition



2775 Row River Road
Existing Conditions



2775 Row River Road
Addition to Service Center Shown

Proposed Building
Addition