

STAFF REPORT
1,200 SF STORAGE BUILDING ADDITION
COTTAGE GROVE COMMUNITY HOSPITAL
MTA 2-22
APRIL 20, 2022

PROPOSAL DESCRIPTION

Date application filed: March 8 ,2022

Date application complete: March 23, 2022

Applicant: Balance Architecture and Design
1808 Jefferson Street
Eugene, OR 97405

Owner: Peace Health
1515 Village Drive
Cottage Grove, OR 97424

Location: Map 20-03-24-24 TL 401
1515 Village Drive

Present Conditions: Developed Cottage Grove Community Hospital

Proposed Use: 1,200 sf Storage Building Addition and Covered Walkway

Comp Plan Designation: T – Tourist Commercial

Zoning: CT/L – Commercial Tourist-Limited

Proposal/Narrative from Applicant:

The applicant is proposing a 1,200 sf storage building addition to the existing hospital facility located at 151 Village Drive with the dimensions being 26' x 48.5'. The proposed development on the southwest side of the existing building will include a covered walkway on the east elevation to provide covered access to the MRI trailer that is parked adjacent to the proposed storage building. The provided construction plans show the use of fiber-cement lap siding, windows on the west façade, and a roll-up door for equipment access. Additionally, the storage building will be sprinklered for fire prevention.

This application for the proposed addition is being processed as a Modification to Approval for the existing hospital development using relevant criterion for Site Design Review as required by Section 14.42.200.

COMMENTS RECEIVED

Development comments were received on April 8, 2022 and are included and addressed in the staff report.

Fire Marshal, Danny Solesbee, reviewed the proposal and had no comments.

No other comments were received.

APPROVAL CRITERIA; MTA 2-22

14.46.300 Major Modifications

A. Major Modification Defined. The Community Development Director shall determine that a major modification(s) is required if one or more of the changes listed below are proposed:

- 1. A change in land use;*
- 2. An increase in density by more than ten (10) percent, provided the resulting density does not exceed that allowed by the land use district;*
- 3. A change in setbacks or lot coverage by more than 10 percent, provided the resulting setback or lot coverage does not exceed that allowed by the land use district;*
- 4. A change in the type and/or location of access-ways, drives or parking areas affecting off-site traffic;*
- 5. An increase in the floor area proposed for non-residential use by more than 15 percent where previously specified;*
- 6. A reduction of more than 10 percent of the area reserved for common open space; or*
- 7. Change to a condition of approval, or a change similar to items 1-6, that could have a detrimental impact on adjoining properties. The Community Development Director shall have discretion in determining detrimental impacts warranting a major modification*

14.42.200 Applicability

Land Use Review or Site Design Review shall be required for all new developments and modifications of existing developments described below. Regular maintenance, repair and replacement of materials (e.g., roof, siding, awnings, etc.), parking resurfacing and similar maintenance and repair shall be exempt from review.

A. Land Use Review. Land Use Review is a review conducted by the Community Development Director or designee without a public hearing (Type I or II). (See Chapter 14.41 for review procedure.) It is for changes in land use and developments that do not require a conditional use permit or site design review approval. Land Use Review ensures compliance with the basic land use and development standards of the land use district, such as lot area, building setbacks and orientation, lot coverage, maximum building height, and other provisions of Chapter 2. Land Use Review is required for all of the types of land uses and development listed below. Land uses and developments exceeding the thresholds below require Site Design Review.

- 1. Change in occupancy from one type of land use to a different land use;*
- 2. Single-family detached dwelling (including manufactured home on its own lot);*
- 3. A single duplex, or up to two single family attached (town home) units not requiring a land division, and accessory parking on the same lot;*

4. *Non-residential building additions up to 1000 square feet, or 50% of an existing structure;*
5. *Minor Modifications to development approvals as defined by Chapter 14.46;*
6. *Any proposed development that has a valid conditional use permit. Major modifications to a development with a conditional use permit shall require review and approval in accordance with Chapter 14.44 - Conditional Use Permits;*
7. *Home occupations requiring a permit under Chapter 14.22.200.G;*
8. *Temporary uses requiring a permit under Chapter 14.49;*
9. *Accessory structures and accessory parking;*
10. *Development and land uses that are part of a previously approved Site Design Review or Conditional Use Permit application;*
11. *Public improvements required by a condition of approval (e.g., transportation facilities and improvements, parks, trails, and similar improvements, as determined by the Community Development Director).*

***B. Site Design Review.** Site Design Review is a discretionary review conducted by the Planning Commission with a public hearing (Type III Quasi-Judicial Review). (See Chapter 14.41 for review procedure.) It applies to all development in the City, except those specifically listed under “A” above (applications subject to Land Use Review). Site Design Review ensures compliance with the land use and development standards in Chapter 2 (e.g., lot area, building setbacks and orientation, lot coverage, maximum building height), and the design standards and public improvement requirements in Chapter 3.*

Staff response and findings of fact: The proposed 1,200 sf storage building addition requires a Type III Site Design Review using relevant criterion as the proposal is larger than 1,000 sf of non-residential space. Hence this application, this criterion is met.

Chapter 14.42.600 Site Design Review Approval Criteria. *The review authority shall make written findings with respect to all of the following criteria when approving, approving with conditions, or denying an application:*

1. *The application is complete, as determined in accordance with Chapter 14.41 – Types of Applications and Section 14.42.500, above;*

Staff response and findings of fact: The application was submitted on March 8, 2022. The application was deemed complete on March 23, 2022. This criterion is met.

2. *The application complies with all of the applicable provisions of the underlying Land Use District (Chapter 2), including: building and yard setbacks, lot area and dimensions, density and floor area, lot coverage, building height, building orientation, architecture, and other special standards as may be required for certain land uses;*

Table 14.23.120 Development Standards for Commercial Districts

The development standards in Table 14.23.120 apply to all new structures, buildings, and development, and major remodels, in the Commercial Districts.

Table 14.23.120 – Development Standards for Commercial Districts				
Standard	C-2	C-2P	CT	CT/L
<i>Minimum Lot Area (square feet)</i>	No standard	No standard	No standard	No standard
<i>Minimum Lot Width</i> Non-Residential Uses <i>For flag lots, width is measured at the front building line.</i>	15 ft	60 ft	50 ft	50 ft
<i>Minimum Lot Depth</i>	N/A	2 times width	2 times width	2 times width
<i>Building/Structure Height*</i> <u>Level Site (slope less than 15%), maximum height</u> <u>Sloping Site (15% or greater), maximum height</u> <u>Height Bonus for Residential Use in Upper Building Story, per Section 14.23.160</u> <u>Building Height Transition required adjacent to R/R-1 District, per Section 14.22.170</u> <i>*Height may be</i>	40 ft N/A 10 ft Yes	40 ft level site +5 ft 10 ft Yes	28 ft level site +5 ft N/A Yes	40 ft level site +5 ft N/A No

Table 14.23.120 – Development Standards for Commercial Districts

Standard	C-2	C-2P	CT	CT/L
<p><i>exceeded with approval of a Conditional Use Permit, per Chapter 14.44.</i></p> <p><u>Fences,</u> <u>Retaining/Garden Walls</u>(See also, Sections 14.31.200, Vision Clearance; 14.32.500, Fences, Walls)</p>	6 ft	6 ft	6 ft	6 ft
<p><i>Building Coverage</i> (two options):</p> <ol style="list-style-type: none"> 1. Max. Building Coverage 2. Coverage Bonus <p>The allowable building coverage increases by a ratio of one-half (1/2) square foot for every one (1) square foot of required parking area that is paved using a City-approved porous/permeable paving material (i.e., allowing stormwater infiltration) or one-half (1/2) square foot for every one (1) square foot of City-approved water quality treatment area (e.g., vegetative swale or biofiltration) on the development site.</p>	100%	60%	50%	50%
	N/A	Yes	Yes	Yes

Table 14.23.120 – Development Standards for Commercial Districts

Standard	C-2	C-2P	CT	CT/L
<p><i>Min. Landscape Area (% site area)</i>, except does not apply to Single Family Dwellings. Landscape area may include plant areas and some non-plant areas as allowed under Section 14.32.300.D.</p>	0%	10%	15%	15%
<p><i>Minimum Setbacks (feet):</i> (See also, Section 14.22.170, R/R-1 Height Step-Down.)</p> <p><u>Front, Street, Side, and Rear</u> property lines, except garage or carport</p> <p><u>Garage/Carport Entry</u>, setback from street</p> <p>Alley</p>	0 ft	0 ft	0 ft	0 ft
<p><u>Garage/Carport Entry</u>, setback from street</p> <p>Alley</p>	0 ft	20 ft	20 ft	20 ft
<p>Alley</p>	0 ft	3 ft	3 ft	3 ft
<p>Adjacent to R/R-1 District</p>	10 ft, and per Section 14.22.17 <u>0</u>	10 ft, and per Section 14.22.17 <u>0</u>	10 ft, and per Section 14.22.17 <u>0</u>	10 ft, and per Section 14.22.17 <u>0</u>
<p><i>Build-To Line (feet):</i></p> <p><u>New Buildings Only:</u> (Per Sections 14.23.130A, 14.23.17 <u>0</u>.)</p>	0 ft	60 ft, may be increased per Section 14.23.17 <u>0</u>	60 ft, may be increased per Section 14.23.17 <u>0</u>	60 ft, may be increased per Section 14.23.17 <u>0</u>

Staff response and findings of fact:

The applicant has provided a site plan (Exhibit C) that demonstrates compliance with all of the standards listed above from Table 14.23.120, as described below.

Building Height: The applicant proposes a building height of 28’ at the ridge. This is well within the allowed 40’ permitted within the CT/L zone, this standard is met.

Lot Coverage: Lot coverage maximum is 60%. The existing buildings and the proposed addition will encumber ~41,000 sf of the total 295,000 sf lot or approximately 14% sqft. As the buildings cover less than 60% of the total lot, this standard is met.

Minimum Setbacks: Minimum setbacks in the CT/L district are met as proposed with the addition being in the rear of the development site and the distance between the west façade of the addition and the nearest property line to the west being approximately 90' away. This criterion is met.

Build-to Line: The proposed addition to the existing structure is approximately 400' from the build-to line, however as this is an addition to the back of the main building the build-to standards do not apply.

14.23.150 Commercial Districts – Building Orientation and Commercial Block Layout

C. Building orientation standards. *Developments subject to this Section shall have their buildings oriented to a street, as generally shown in Figure 14.23.150 C(1). This standard is met when all of the following criteria are met:*

1. *Compliance with the setback and build-to line standards in Section 14.23.120, where applicable.*

Staff response and findings of fact: This application to construct an addition to an existing structure meets setback standards for the CT/L Zone and Build-to criterion do not apply, this criterion is met.

2. *Except as provided in subsections 14.23.150.C(4) and (5), below, all buildings shall have at least one primary building entrance (i.e., dwelling entrance, a tenant entrance, lobby entrance, or breezeway/courtyard entrance) facing an adjoining street (i.e., within 45 degrees of the street property line).*

Staff response and findings of fact: A new pedestrian covered walkway is proposed to connect the exiting hospital facility to the entrance of the mobile MRI trailer, however this pedestrian connection is auxiliary to the hospital use and therefore this criterion does not apply. Subsequent applications that effect the client spaces and accessibility will be subject to compliance with Chapter 3. This criterion does not apply.

3. *In the Commercial Districts, off-street parking, driveways, and other vehicle areas shall not be placed between buildings and the street(s) to which they are oriented; except as provided under subsection 14.23.150.C(4). Off-street parking in the Commercial Districts shall be oriented internally to the site and divided by landscape areas into bays of not more than 24 parking spaces per bay, as generally shown in Figures 14.23.150.C(2).*

Staff response and findings of fact: The addition of this storage building does not require parking facilities. This criterion does not apply.

4. *In the C-2P, CT and CT/L Districts, the building orientation standard may be met with vehicle areas allowed between the street right-of-way and a building's primary entrance when the approval body finds that the following criteria are met:*
 - a. *Placing vehicle areas between the street right-of-way and building's primary entrance will not adversely affect pedestrian safety and convenience, based on the distance from the street sidewalk to the building entrance, projected vehicle traffic volumes, and available pedestrian walkways;*

Staff response and findings of fact: No new parking areas are being proposed with this addition. This criterion does not apply.

- b. *The proposed vehicle areas are limited to one driveway of not more than 20 feet in width with adjoining bays of not more than eight (8) consecutive parking spaces per bay (including ADA accessible spaces) on the side(s) of the drive aisle. (The intent is to create a drive aisle that is street-like, and break up parking into small bays with landscaping); and*

Staff response and findings of fact: No new parking areas are being proposed with this addition. This criterion does not apply.

- c. *The building's primary entrance is connected to an adjoining street by a pedestrian walkway that meets the standards for pedestrian walkways under Section 14.31.300.*

Staff response and findings of fact: The proposed addition is not for use by the public as an accessory use to the hospital development. This criterion does not apply.

5. *Where a development contains multiple buildings and there is insufficient street frontage to which buildings can be oriented, a primary entrance may be oriented to common green, plaza, or courtyard. When oriented in this way, the primary entrance(s) and green, plaza, or courtyard shall be connected to the street by a pedestrian walkway meeting the standards in Section 14.31.300.*

Staff response and findings of fact: This criterion does not apply.

14.23.170 Commercial Districts – Architectural Design Standards

B. Pedestrian Orientation. *The design of all buildings on a site shall support a safe and attractive pedestrian environment. This standard is met when the approval body finds that all of the criteria in 1-7, below, are met. Alternatively, the approval body may approve a different design upon finding that the design contains an equally good or superior way of achieving the above standard.*

1. *The building orientation standards under Section 14.23.150 are met; and*

Staff response and findings of fact: The proposed addition is on the rear of the development site and will be attached to the west façade of the existing hospital. The west facing façade does have windows, but is not required to meet the “eyes on street” requirements. This criterion does not apply.

2. *Primary building entrances shall open directly to the outside and, if not abutting a street, shall have walkways connecting them to the street sidewalk; every building shall have at least one primary entrance that does not require passage through a parking lot or garage to gain access; and*

Staff response and findings of fact: The primary business access for the hospital faces the Village Drive right-of-way and is in compliance with its Design Review criterion. The proposed addition of the storage building is not for public use and therefore this criterion does not apply.

3. *Corner buildings (i.e., buildings within 20 feet of a corner as defined by the intersecting curbs)*

shall have corner entrances, or shall provide at least one entrance within 20 feet of the street corner or corner plaza; and

Staff response and findings of fact: The proposed development is not on a corner lot. This criterion does not apply.

- 4. In the C-2P, CT/L and CT districts, at least 40 percent of the building's front façade (measured horizontally in linear feet) shall be located at the build-to line or closer to the street. In the C-2 district, 100 percent of the building's front façade shall be located at the build-to line. Build-to lines are prescribed by Section 14.23.120; and*

Staff response and findings of fact: The existing hospital building is constructed to its approved criterion. This criterion does not apply.

- 5. Ground floor windows or window displays shall be provided along at least 40 percent of the building's (ground floor) street-facing elevation(s) in the C-2P, CT and CT/L districts, and along 70 percent of the building's street-facing elevation(s) in the C-2 district. Windows and display boxes shall be integral to the building design and not mounted to an exterior wall; and*

Staff response and findings of fact: The proposed addition is in the rear of the property and therefore does not need to meet glazing standards. This criterion does not apply.

- 6. Primary building entrance(s) are designed with weather protection, such as awnings, canopies, overhangs, or similar features; and*

Staff response and findings of fact: The existing hospital building has weather protected entry doors and the new doors on the storage building are under the covered walkway. This criterion is met.

- 7. Drive-up and drive-through facilities, when allowed, shall conform to Section 14.23.180; the provisions of which shall not be modified without a variance (Chapter 14.51).*

Staff response and findings of fact: No drive-through is proposed with this development. This criterion does not apply.

C. Compatibility. *All new buildings and major remodels shall be designed consistent with the architectural context in which they are located. This standard is met when the approval body finds that all of the criteria in 1-9, below, are met.*

- 1. There is continuity in building sizes between new and existing buildings;*

Staff response and findings of fact: The proposed building addition is similar in construction style and material uses. The proposed addition will be compatible with adjacent developments. This criterion is met.

- 2. The ground floor and upper floor elevations and architectural detailing are compatible with adjacent commercial buildings;*

Staff response and findings of fact: The proposed building addition is similar in construction style and material uses. The proposed addition will be compatible with adjacent developments. This criterion is met.

3. *Buildings adjacent to the R/R-1 district height step-down, as required by Section 14.22.170.C;*

Staff response and findings of fact: The adjacent zoning (south/southwest) for the subject parcel is all C2P. The R/R-1 step down requirement does not apply.

4. *Roof elevation is compatible with adjacent commercial buildings (roof pitch, shape, height step-down);*

Staff response and findings of fact: The single ridge design of the proposed storage building matches the existing single ridge of the hospital building and with the construction of the addition will provide a stacked gable appearance. This criterion is met.

5. *There is continuity of building sizes on the site, if more than one building is proposed;*

Staff response and findings of fact: The proposed addition is smaller than the existing structure in height and square footage. It will align with the existing development as it will look similar to other single ridge projections that currently exist on the development site. This criterion is met.

6. *There is continuity in the rhythm of windows and doors on the proposed building(s);*

Staff response and findings of fact: The proposed storage building addition is in the rear of the property, but does demonstrate a window pattern that is in continuity with the existing development. This criterion is met.

7. *The relationship of buildings to public spaces, such as streets, plazas, other areas, and public parking, including on-street parking, is strengthened by the proposed building(s);*

Staff response and findings of fact: The proposed addition is a storage building with covered walkway. This criterion does not apply.

8. *Criteria for alterations of historic landmarks is met, as required by Chapter 14.26; and*

Staff response and findings of fact: There are no historic landmarks on the site. The provisions of Chapter 14.26 do not apply.

9. *New construction or relocations on properties adjacent to historic landmarks is compatible with the overall character of the landmark in use of exterior materials, such as roofing and siding; exterior features, such as roof pitch, eaves, window shapes, types and arrangements, doorways, porches, landscaping, etc.; and size, height, bulk, mass, scale, placement, arrangement of spaces and overall proportions.*

Staff response and findings of fact: There are no adjacent historic landmarks. Hence this criterion is not applicable.

D. Human Scale. *The design of all buildings shall be to a human-scale. This standard is met when the approval body finds that all of the criteria in 1-8, below, are met. Alternatively, the approval body may approve a different design upon finding that the design contains an equally good or superior way of achieving the above standard. Figure 14.23.170.D contrasts examples of building elevations that are consistent/inconsistent with human scale criteria.*

1. *Regularly spaced and similarly shaped windows are provided on all building stories;*

Staff response and findings of fact: The proposed building is symmetrical in design with the existing buildings on the subject property. This criterion has been met.

2. *Ground floor retail spaces have tall ceilings (i.e., 12-16 feet) with display windows on the ground floor;*

Staff response and findings of fact: The proposed addition is not a retail space. This criterion does not apply.

3. *Display windows are trimmed, recessed, or otherwise defined by wainscoting, sills, water tables, or similar architectural features;*

Staff response and findings of fact: There are no display windows proposed for the proposed addition as it is for vehicle servicing. This criterion does not apply.

4. *On multi-story buildings, ground floors are defined and separated from upper stories by appropriate architectural features (e.g., cornices, trim, awnings, canopies, arbors, trellises, overhangs, or other features) that visually identify the transition from ground floor to upper story; such features should be compatible with the surrounding architecture;*

Staff response and findings of fact: The proposed building is not a multi-story structure. This criterion does not apply.

5. *The tops of flat roofs are treated with appropriate detailing (i.e., cornice, pediment, flashing, trim, or other detailing) that is compatible with the surrounding architecture;*

Staff response and findings of fact: The proposed roofline pitched and therefore this criterion does not apply.

6. *Pitched roofs have eaves, brackets, gables with decorative vents, or other detailing that is consistent with the surrounding architecture;*

Staff response and findings of fact: The proposed roof line is pitched to match the existing structure the addition will attach to. This criterion is met.

7. *Historic design and compatibility requirements, where applicable, are met; and*

Staff response and findings of fact: Historic design criteria does not apply to this parcel or development.

8. *Where buildings with greater than 5,000 square feet of enclosed ground-floor space are proposed, they shall provide articulated facades on all street-facing elevations. This criterion is met when an elevation contains at least 1 of the following features for every 30 feet of building (horizontal length):*

- a. *Windows;*
- b. *Primary entrances;*
- c. *Weather protection (awnings, canopies, arbors, trellises), sheltering roofs;*

- d. *Building offsets;*
- e. *Projections;*
- f. *Changes in elevation or horizontal direction;*
- g. *Terraces;*
- h. *A distinct pattern of divisions in surface materials;*
- i. *Ornamentation;*
- j. *Screening trees;*
- k. *Small-scale lighting (e.g., wall-mounted lighting, or up-lighting);*
- l. *And/or similar features as generally shown in Figure 14.23.170.D.*

Staff response and findings of fact: The building with proposed addition will be in excess of 5,000 sf. The proposed addition is in the rear of the property and does not have any street facing facades to Village Drive, hence this criterion does not apply.

- 3. *The applicant shall be required to upgrade any existing development that does not comply with the applicable land use district standards, in conformance with Chapter 14.52, Non-Conforming Uses and Development;*

Staff response and findings of fact: The subject property is currently fully developed and not determined to be Non-conforming per Chapter 14.52. This criterion does not apply.

- 4. *The application complies with all of the Design Standards in Chapter 3:*
 - a. *Chapter 14.31 – Access and Circulation*
 - b. *Chapter 14.32 – Landscaping, Significant Vegetation, Street Trees, Fences, and Walls*
 - c. *Chapter 14.33 – Parking and Loading*
 - d. *Chapter 14.34 – Public Facilities*
 - e. *Chapter 14.35 – Surface Water Management*
 - f. *Chapter 14.36 – Other Standards, as applicable*
 - g. *Chapter 14.37 – Sensitive Lands*

Staff response and findings of fact:

Design standards from Chapter 3 are not applicable to this application as the proposed addition does not include or require changes to access and circulation, landscaping, parking and loading, or sensitive lands.

14.34.010 Public Facilities -- Purpose and Applicability

- A. Purpose.** *The purpose of this Chapter is to provide planning and design standards for public and private transportation facilities and utilities. Streets are the most common public spaces, touching virtually every parcel of land. Therefore, one of the primary purposes of this Chapter is to provide standards for attractive and safe streets that can accommodate vehicle traffic from planned growth and provide a range of transportation options, including options for driving, walking, bus transit, and bicycling. This Chapter is also intended to implement the City's Transportation System Plan.*
- B. When Standards Apply.** *Unless otherwise provided, the standard specifications for construction, reconstruction, or repair of transportation facilities, utilities, and other public improvements within the City shall occur in accordance with the standards of this Chapter. No development may occur unless the public facilities related to development comply with the public facility requirements established in this Chapter.*

Staff finding: Per Development Comments dated April 8, 2022, the following conditions shall apply to this development:

General

- Traffic control shall be in accordance of the Manual of Uniform Traffic Control Devices for all work performed in the public right-of-way.
- Developer will be responsible for payment of all system development charges and design review and other associated fees.

Streets

- An Erosion control permit will be required. Erosion control is required during construction. Improvement plans shall include details and language on the method of erosion control in the contract documentation. Erosion control measures shall be in place before any construction begins.
- A concrete wash out area shall be shown on plans as well as a detail to construct it.
- Any new utility work or repair of any utility work or connection to any utility within Row Village Drive shall conform to the City of Cottage Grove Standard Drawing No. 602. Contact Engineering Department for details

Water

- The property is currently being served water from the rear of the property adjacent to Row River Road with a 4 inch meter
- A fire hydrants are located throughout the development site.
- Plans did not show any new water fixtures. If there are new water fixtures including hose bibbs, please include on building permit plans so staff can check meter size for the business as outlined in the plumbing code

Sanitary Sewer

- An 8-inch sanitary sewer serves the property currently off Row River Road.

Storm Drainage

- Storm water runoff is not to adversely affect adjacent property owners; therefore no overland flow is allowed. All storm water runoff from this development shall be contained on the property prior to connecting the public storm drainage system.
- Any on site catch basins shall comply with the latest version of by the Oregon Plumbing Specialty Code.
- No hydraulic calculations are needed because the existing conditions are a paved parking lot, so there will be no increase in storm water runoff from the proposed development.

Existing conditions of approval required as part of a prior Land Division (Chapter 14.43), Conditional Use Permit (Chapter 14.44), Master Planned Development (Chapter 14.45) or other approval shall be met.

Staff finding: There are no know conditions of approval for this parcel. This criterion does not apply.

CONCLUSION

Modification to Approval, **approval** pursuant to Section 14.42.600 Site Design Review Approval Criteria and subject to the recommended conditions is supported by the findings of fact that establish compliance with the applicable state and local standards.

STAFF RECOMMENDATION

That the Modification to Approval, MTA 2-22 be **approved** for the development of a 1,200 sf storage building with covered walkway addition to the Cottage Grove Community Hospital pursuant to Section 14.42.600 Site Design Review Approval Criteria which are supported by findings of fact and conditions that can establish compliance with applicable state and local standards.

CONDITIONS OF APPROVAL

1. Major modifications to these plans shall be approved by the Planning Commission.
2. Architectural elements shall be installed and maintained as presented in the plans received March 8, 2022.
3. Building permits are required.
4. All man-made and natural features required by this Code shall be maintained in good condition, or otherwise replaced by the owner.
5. Development Comments dated April 8, 2022 are considered conditions of approval and shall be met prior to building occupancy.

MATERIALS TO BE PART OF THE RECORD

File MTA 2-22

EXHIBITS

- A. Development Comments, April 8, 2022
- B. Application
- C. Site Plan and Elevations

**EXHIBIT A:
MEMO**

To: Planning Staff

From: Eric Mongan, City Planner

Subject: ENGINEERING COMMENTS FOR MTA 2-22 (1515 Village Drive - Cottage Grove Community Hospital 1,200 sf storage)

Date: April 8, 2022

The following comments are based on a proposed plan set, not dated (5 – 11”x17”sheets)
Changes may occur during the review process and/or development phase that will be in conflict with statements below and some issues may have been overlooked that will be commented on during the review process and/or development phase of this project.

Development Comments

General

- Traffic control shall be in accordance of the Manual of Uniform Traffic Control Devices for all work performed in the public right-of-way.
- Developer will be responsible for payment of all system development charges and design review and other associated fees.

Streets

- An Erosion control permit will be required. Erosion control is required during construction. Improvement plans shall include details and language on the method of erosion control in the contract documentation. Erosion control measures shall be in place before any construction begins.
- A concrete wash out area shall be shown on plans as well as a detail to construct it.
- Any new utility work or repair of any utility work or connection to any utility within Row Village Drive shall conform to the City of Cottage Grove Standard Drawing No. 602.
Contact Engineering Department for details

Water

- The property is currently being served water from the rear of the property adjacent to Row River Road with a 4 inch meter
- A fire hydrants are located throughout the development site.

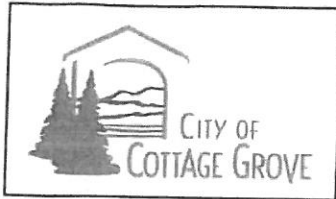
- Plans did not show any new water fixtures. If there are new water fixtures including hose bibbs, please include on building permit plans so staff can check meter size for the business as outlined in the plumbing code

Sanitary Sewer

- An 8-inch sanitary sewer serves the property currently off Row River Road.

Storm Drainage

- Storm water runoff is not to adversely affect adjacent property owners; therefore no overland flow is allowed. All storm water runoff from this development shall be contained on the property prior to connecting the public storm drainage system.
- Any on site catch basins shall comply with the latest version of by the Oregon Plumbing Specialty Code.
- No hydraulic calculations are needed because the existing conditions are a paved parking lot, so there will be no increase in storm water runoff from the proposed development.



File No.: MTA 2-22
Date Submitted by Applicant: 3/8/22
Date Deemed Complete: _____

400 Main Street Cottage Grove, OR 97424

TYPE III PERMIT APPLICATION

To: City of Cottage Grove Planning Commission

- A. Applicant BALANCE architecture+design, p.c.
- Name: REX PRATER, AIA Phone No.: 5419141733
 - Mailing Address: 1808 JEFFERSON ST
 - Email Address: rex@balancearchitecturepc.com
 - Status: Owner Agent

Note: If agent you must have owner's consent and signature.

- B. Owner (if not applicant)
- Owner's Name: PEACEHEALTH Phone No.: _____
 - Owner's Mailing Address: _____

- C. Location of Property
- Address/Location: 1515 VILLAGE DR
 - Map & Tax Lot Number: 20032724 lot 401
 - Present Use: PARKING AREA & MOBILE MR PARKING
 - Proposed Use: STORAGE & MOBILE MR PARKING

- D. Request for Consideration
- Type of Land Use Application applying for: TYPE III
Options: Conditional Use, Greenway Conditional Use, Cottage Industry, Historic Alteration, Land Use District Map changes (no plan amendment required), Master Planned Developments, Site Design Reviews, Subdivisions, Variance (Class C)
 - Is this application filed in association with other land use permit applications?
Yes _____ No _____
 - Reasons for Application: To construct an addition to the Hospital:
a storage room and an exterior walkway/canopy to the mobile MR t


E. Required Information

- Narrative Statement: This application must be filed with one copy of a narrative statement that explains how the application satisfies each and all of the relevant criteria and standards in sufficient detail for review and decision-making.
Note: Additional information may be required under the specific application requirements for each approval, e.g., Chapters 4.2 (Land Use Review), 4.3 (Land Divisions), 4.4 (Conditional Use), 4.5 (Master Planned Developments), 4.6 (Modifications), 4.8 (Code Interpretations), 4.9 (Miscellaneous Permits) and 5.1 (Variances).
- Plans: Three (3) sets of plans, including one (1) set of plans in a reproducible form that is no larger than 11"x17" in size. Content of plans will vary with application type. Refer to submittal requirements for specific application type.
- Neighborhood Meeting verification (for Master Planned Developments, Conditional Uses and Subdivisions). Must include copy of meeting notice and minutes and/or recording of meeting.
- Non-refundable application fee.

G. Signature

I hereby request a Type III Permit on the above described real property, which is either owned by or under contract of sale to the applicant, and is located within the City of Cottage Grove, Oregon.

I hereby acknowledge that this application is not considered filed and complete until all of the required information has been submitted as determined by the Community Development Director and all required fees have been paid in full. Once the original application is submitted, Staff has 30 days to determine whether an application is complete. Within 30 days a letter will be mailed to you either deeming the application complete or requesting additional information. If additional information is requested you have 150 days to either: submit the missing information, submit some of the information and written notice that no other information will be provided, or submit a written notice that none of the missing information will be provided. *Once your application is deemed complete* you will be assigned a public hearing date before the Planning Commission and Staff will have 120 days to complete the processing of your application. (ORS 227.178)

	Owner:	Agent:
Signature:	<u>Chris Frank</u>	<u></u>
Name:	<u>Chris Frank</u>	<u>REX PRATER, AIA</u>
Date:	<u>2/21/22</u>	<u>FEB 18, 2022</u>

Office Use Only

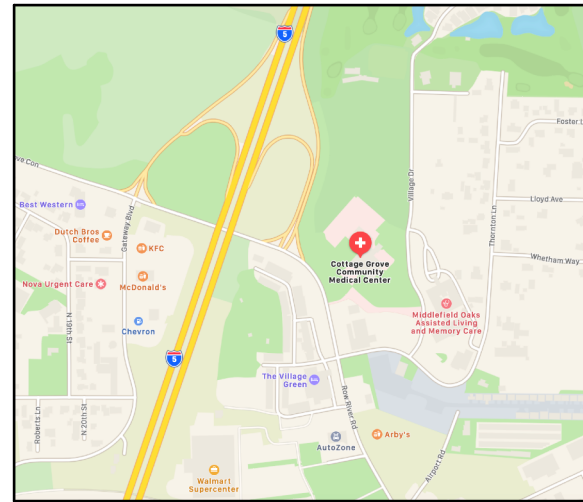
Date Application Received: _____ Initials: _____
 Date Application Complete: _____ Initials: _____
 Applicant Notified of Completeness: _____
 Fee Paid: _____ Receipt No. _____ Initials: _____

NEW STORAGE FACILITY

AN ADDITION AT THE COTTAGE GROVE COMMUNITY HOSPITAL



BALANCE architecture+design, p.c.
 project architect:
 Rex Prater, AIA
 Contact Phone No.
 rex@balancearchitecturepc.com



Location Map

SCALE: 1/4" = 1'-0"

SHEET INDEX

A-1	SITE PLAN
A-2	FLOOR PLAN
A-3	ELEVATIONS
A-4	ELEVATIONS

PROPERTY INFORMATION

Project Type: #Project Description
 Project Permits: S - M - E - P

Project Location:
 Cottage Grove Community Medical Center
 1515 Village Dr.
 Cottage Grove, OR 97424

Assessor Parcel Number: 2003272400401
 Zoning/Occupancy Classification: I-2.2

Building Owner:
 PeaceHealth System Services
 1115 SE 164th Ave
 Vancouver, WA 98683
 360-729-1000

BUILDING INFORMATION

Building area has assumed property lines:
 project located within 17,000 sq.ft. area (GROUP B)
 And along line of Smoke Partition 'B'

Occupancy:
 GROUP B adjacent to (GROUP 1, DIVISION 1.1)
 Construction Type: V-B,S
 Fully Sprinklered with alarms

PROJECT SCOPE:
 Construct addition for storage onto the facility
 management area

PROJECT CONTACTS

PEACEHEALTH
 Contact: Grady Layman, (503) 522-4385
 glayman@peacehealth.org

ARCHITECT OF RECORD
 BALANCE architecture+design, p.c.
 Phone: (541) 914-1733
 E-mail: rex@balancearchitecturepc.com
 Contact: Rex Prater, AIA, (541) 914-1733

PROJECT ARCHITECT
 Q-STERRY ARCHITECTURE, LLC
 541-517-3737
 q@qsterry.com

STRUCTURAL ENGINEERING
 WOODCHUCK ENGINEERING
 3028 Gateway Loop
 Springfield, Oregon 97477-1117
 Chuck Du Fault, PE (541) 357-5532

GENERAL CONTRACTOR
 BRIDGEWAY CONTRACTING
 Project Contact: Jerry Valencia
 (541) 606-2571
 CCB#176939

MECHANICAL CONTRACTOR
 Harvey & Price; fire suppression update
 FM SHEETMETAL; HVAC

ELECTRICAL CONTRACTOR
 OEG; line-voltage
 Convergence; low-voltage

PLUMBING CONTRACTOR
 Brothers Plumbing

GENERAL PROJECT NOTES

Drawings and Specifications as instruments of service are and shall remain the property of the Architect. They are not to be used on extensions of the project, or other projects, except by agreement in writing and appropriate compensation to the Architect. The General Contractor is responsible for confirming and correlating dimensions at the job site. The Architect will not be responsible for construction means, methods, techniques, sequences, or procedures, or for safety precautions and programs in connection with the project.

© BALANCE architecture+design, p.c.

1. All sheets noted at the sheet index must be attached or accompany this set of Construction Documents for construction purposes. Obtain proper permits for all construction. Contact the Architect to confirm all Construction Documents are current, including revision status.
2. All work to comply with the 2019 State of Oregon Structural Specialty Code (OSSC).
3. Building permit must be posted on site.
4. All work shall be coordinated to ensure minimal disruption to normal facility operations. Provide appropriate construction work barriers as approved by the Owner and Architect if necessary. Minimize and control spread of dust and other contaminants within the development site.
5. The contractor shall limit on site storage, layout, construction trailers and parking as directed by the Owner's Representative.
6. This project contains Owner Furnished Owner Installed (OFOI) and Owner Furnished Contractor Installed (OFCI) work as indicated and described in the Schedule. The contractor shall cooperate with the Owner, coordinate work and install owner furnished equipment per schedule.
7. The drawings indicate the general scope of the project in terms of architectural design concept, dimensions, the major elements and electrical systems as such
8. The drawings cannot necessarily indicated or describe all work required for full performance and completion of the requirements of the contract documents.



PLANNING APPLICATION:
 COTTAGE GROVE COMMUNITY
 MEDICAL CENTER
 1515 Village Dr Cottage Grove OR

COVERSHEET

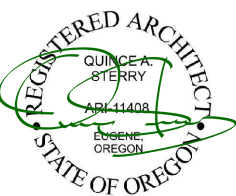


PeaceHealth

STORAGE BUILDING

Cottage Grove Community Medical Center
1515 Village Dr, Cottage Grove, OR 97424

PLANNING APPLICATION APPROVAL

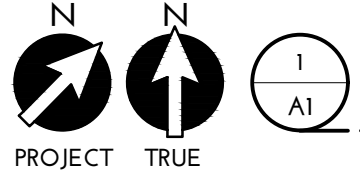
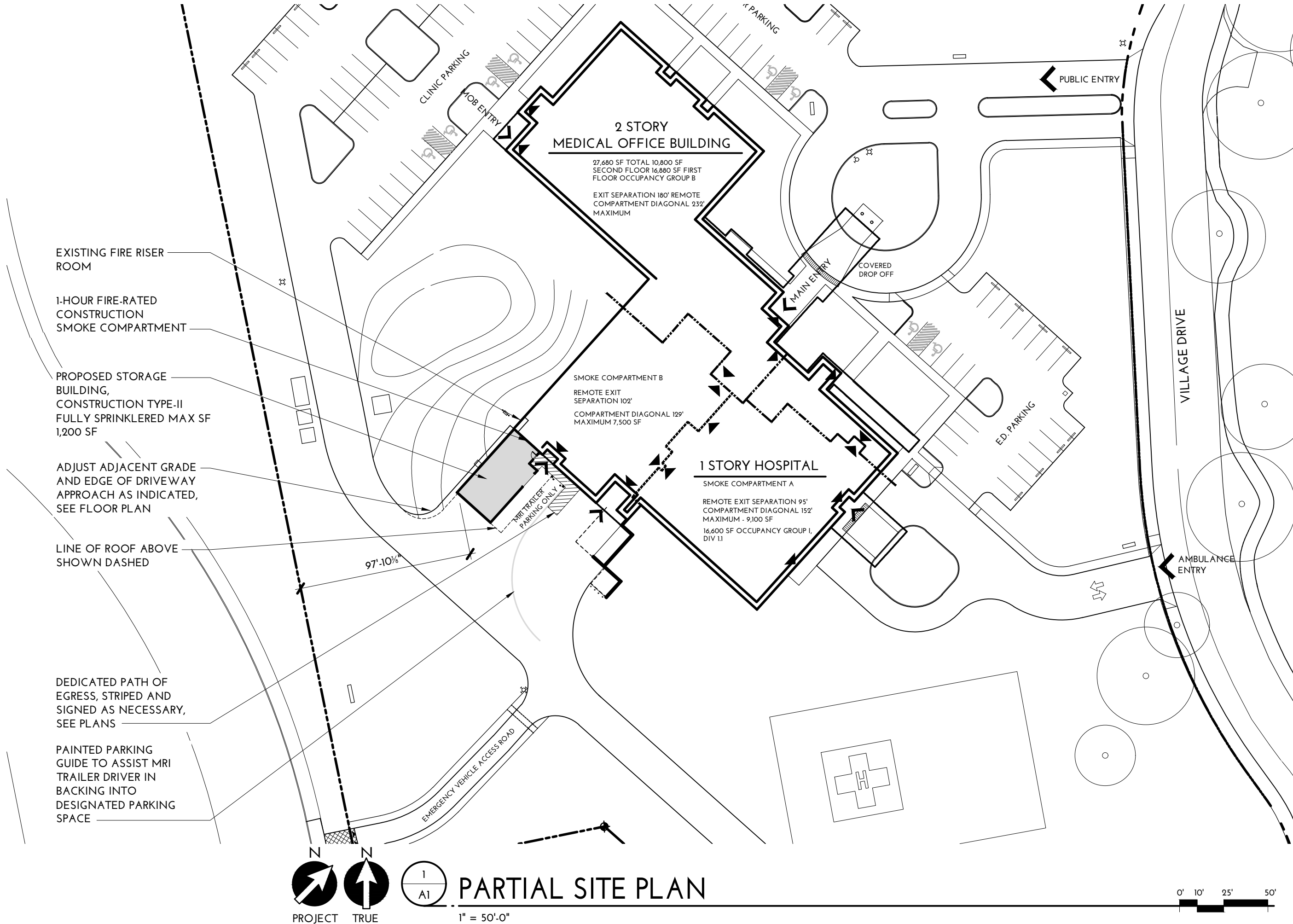


CURRENT REVISION

PREVIOUS 4 REVISIONS, (This Sheet Only)

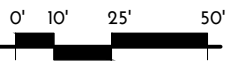
SITE PLAN

PROJECT #	202207
DRAWN	Q
CHECKED	Q
DATE	03.03.2022
SHEET	A1



PARTIAL SITE PLAN

1" = 50'-0"



REMOVE PORTION OF EXISTING WALL TO ACCOMMODATE NEW FIRE-RATED DOOR AS INDICATED

UPGRADE EXISTING WALL BETWEEN EXISTING BUILDING AND NEW BUILDING TO BE 1-HOUR FIRE RATED CONSTRUCTION, PROVIDE AND INSTALL 5/8" TYPE X GYP BD EACH SIDE OF ALL FROM FLOOR DECK/ SLAB TO UNDERSIDE OF ROOF DECK ABOVE

NEW H.M. 45-MINUTE FIRE RATED DOOR AND FRAME WITH AUTOMATIC CLOSER, AND SMOKE SEALS, 3'-0" X 7'-0" DOOR, BOTH DOORS TO RECEIVE STOREROOM LOCK SETS

CONCRETE SIDEWALK WRAPS ABOUT NEW BUILDING TO CONNECT WITH EXISTING

EPOXY ANCHOR NEW FOOTING/ STEM WALL INTO EXISTING FOOTING STEM WALL, (3) #4 BARS AT FOOTING & (2) #4 BARS AT STEM WALL, SPECIAL INSPECTION REQUIRED, TYPICAL BOTH SIDES

PEDESTAL WITH (2) PHONE AND (2) DATA LINES CONNECTED TO HOSPITAL SYSTEMS PER OWNER, VERIFY QUANTITIES, TYPES AND LOCATIONS

FLUSH MOUNTED TRENCH DRAIN AND COVER FOR ELECTRICAL SUPPLY TO CHARGING PEDESTAL FROM EXISTING ELECTRICAL, VERIFY LOCATIONS

CHARGING PEDESTAL, 240 VOLT, AC, 3-PHASE, FUSED 200 AMPS. RUSSELL-STOLL DF2504FRAB CONNECTION POINT AT PEDESTAL, CONNECTED TO SHORLINE FROM TRAILER, VERIFY

6" DIAMETER PAINTED STRUCTURAL STEEL CONCRETE BOLLARDS, TYPICAL OF (3)

PAINTED STRIPING, SAFETY YELLOW OR BRIGHT WHITE

APPROXIMATE LOCATION OF TRAILER POWER SHORELINE

10'x10' OVERHEAD DOOR, SEGMENTED, INSULATED, LOCKABLE, NON-COMBUSTIBLE, WITH SIDE MOUNTED AUTOMATIC OPENER

PORTABLE MRI TRAILER 49' LONG X 8'-0" WIDE X 13'-6" TALL, DOES NOT INCLUDE EXTENSIONS OR AC

NEW REINFORCED CONCRETE PAD, DEPTH AND REINFORCING PER ENGINEERING, DEAD-LEVEL SIDE-TO-SIDE, SLOPED FRONT TO BACK AS NECESSARY

APPROXIMATE LOCATION OF TRAILER JACK STANDS AT FRONT

LINE OF ROOF ABOVE, (SHOWN DASHED) SEE ROOF FRAMING PLAN

REINFORCED CONCRETE FOOTING AND STEM WALLS, SEE DETAILS

GENERAL NOTES

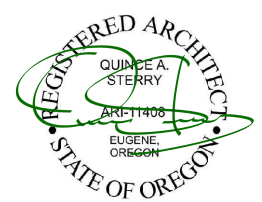
1. THE SUITE SHALL COMPLY WITH THE LATEST REQUIREMENTS OF CHAPTER 11 & ICC A117.1-2017.
2. ALL WALL DIMENSIONS ARE TO FACE OF STUD (FOS), UON
3. FIELD VERIFY ALL EXISTING CONDITIONS AND DIMENSIONS
4. ALL INTERIOR PARTITIONS WHICH DO NOT RUN TO THE UNDERSIDE OF STRUCTURE SHALL BE BRACED TO STRUCTURE AT 4'-0" O.C. BRACING TO RUN IN ALTERNATING DIRECTIONS PERPENDICULAR TO THE PLANE OF THE WALL
5. ALL GYPSUM WALLBOARD TO BE 5/8" TYPE "X"
6. UNLESS OTHERWISE NOTED, DOORS SHALL BE LOCATED IN A MANNER THAT LEAVES 2" FROM ADJACENT PERPENDICULAR WALL FINISH TO THE OUTSIDE EDGE OF THE DOOR FRAME
7. VERIFY PLACEMENT OF ALL ELECTRICAL OUTLETS AND SWITCHING WITH OWNER PRIOR TO INSTALLATION. UNLESS OTHERWISE NOTED, ELECTRICAL, TELEPHONE AND COMMUNICATION OUTLETS ARE TO BE MOUNTED VERTICALLY WITH CENTERLINE AT 18" ABOVE THE FLOOR
8. PROVIDE 6" WIDE 16 GA STEEL BACKING FOR THE WALL MOUNTED EQUIPMENT, WALL CABINETS, ETC
9. ALL REQUIRED EXIT DOORS TO BE POSTED WITH THE FOLLOWING: "THIS DOOR TO REMAIN UNLOCKED DURING BUSINESS HOURS" AND AN EXIT SIGN
10. SEAL ALL OUTLETS IN SOUND PARTITIONS WITH ACOUSTICAL SEALANT
11. PENETRATIONS OF SMOKE PARTITIONS AND FIRE RATED ASSEMBLIES SHALL BE FIRE STOPPED
12. PROVIDE NEW DOOR HARDWARE TO MATCH EXISTING MAKE, MODEL, AND FINISH. KEYED TO COORDINATE WITH EXISTING BUILDING MASTER KEY, VERIFY TYPES AND QUANTITIES OF KEYS DESIRED BY OWNER



PeaceHealth

STORAGE BUILDING
Cottage Grove Community Medical Center
1515 Village Dr, Cottage Grove, OR 97424

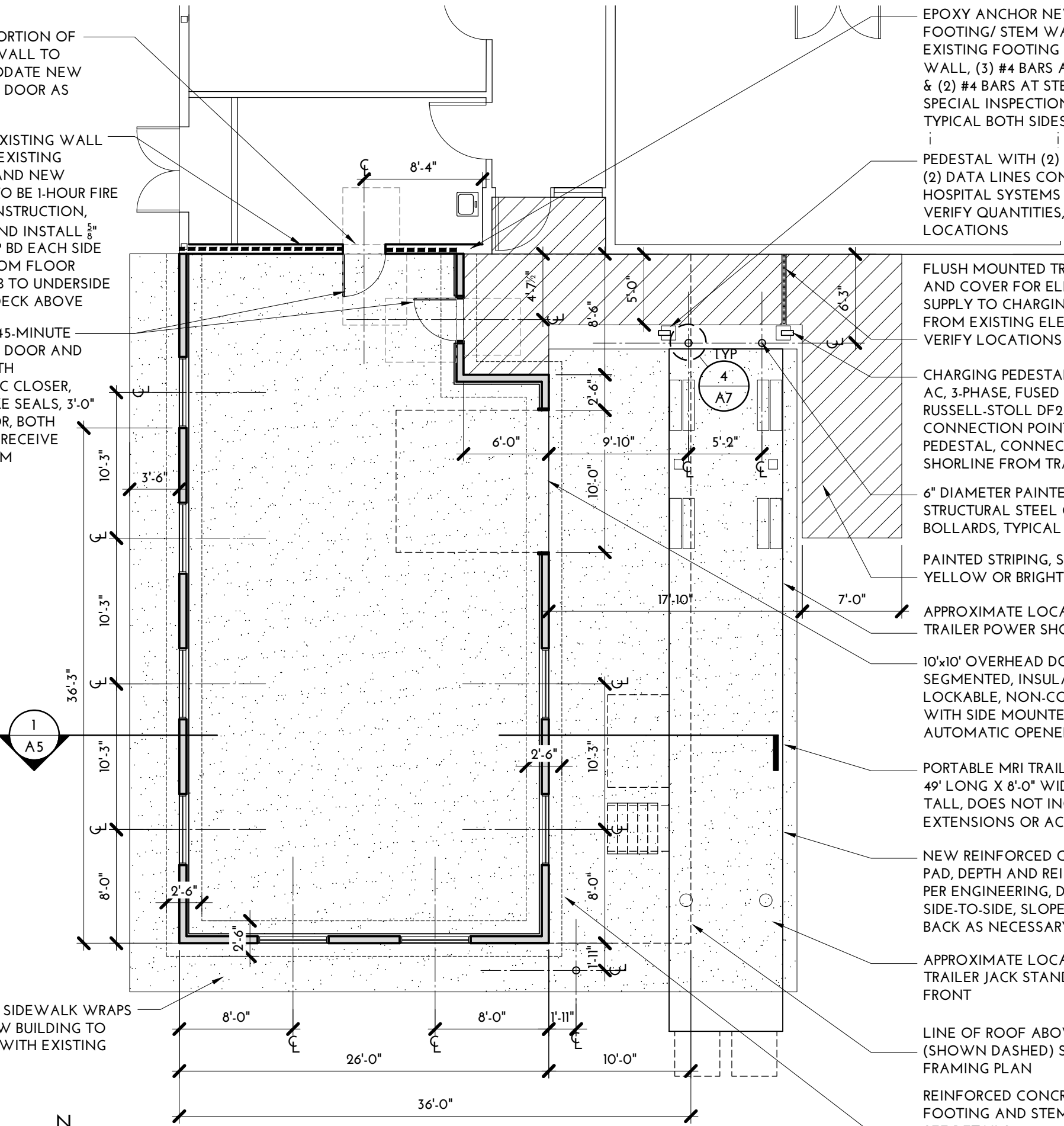
PLANNING APPLICATION APPROVAL



CURRENT REVISION	
PREVIOUS 4 REVISIONS, (This Sheet Only)	

FLOOR & FOUNDATION PLAN

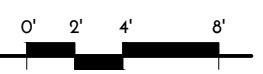
PROJECT #	202207
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DATE	03.03.2022
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1
A2

FLOOR AND FOUNDATION PLAN

1/8" = 1'-0"

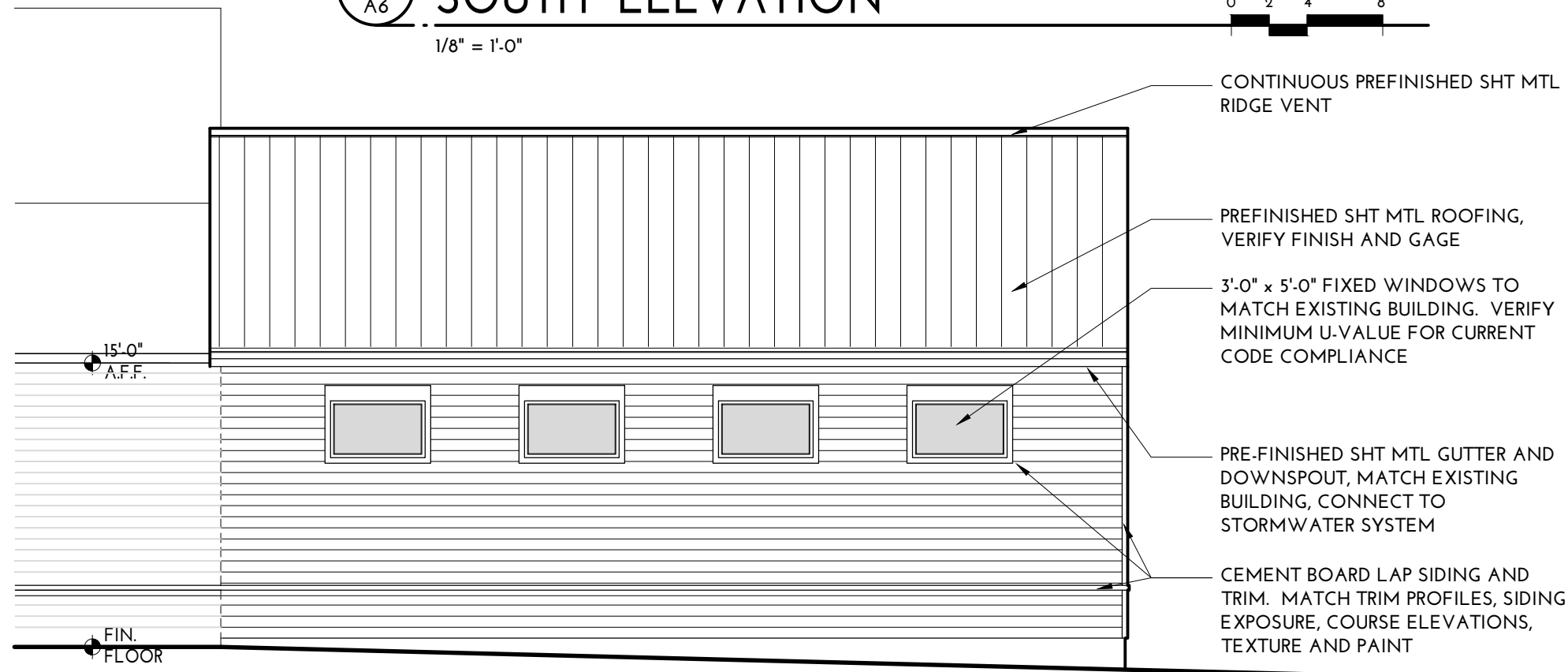


GENERAL NOTES

1. ALL THRU WALL PENETRATIONS INCLUDING DOORS AND WINDOWS TO BE WRAPPED WITH SELF-ADHESIVE FLEXIBLE FLASHING INSTALLED PER MANUFACTURER'S CURRENT WRITTEN INSTRUCTIONS
2. PRE-FINISHED OR GALVANIZED FLASHING WITH HEMMED DRIP EDGE AL ALL EXTERIOR HORIZONTAL CHANGE IN MATERIALS INCLUDING WINDOWS, DOORS, BELLY BANDS, WAINSCOT, ETC
3. ALL WEATHER BARRIERS INSTALLED ARE TO BE INSTALLED PER MANUFACTURER'S CURRENT WRITTEN INSTALLATION INSTRUCTIONS. ALWAYS INSTALL IN A SHINGLE FASHION
4. CONTRACTOR TO VERIFY MATERIAL ALL EXTERIOR MATERIAL COMPATIBILITY
5. CONTRACTOR TO SECURE, PROVIDE, AND SUBMIT DESIGN/BUILD MEP PLANS AND DRAWINGS AS NECESSARY FOR CODE COMPLIANCE AND PERMIT
6. WINDOWS AND DOORS AND ASSOCIATED HARDWARE ARE TO MATCH CURRENT BUILDING WINDOWS, DOORS, AND HARDWARE UNLESS APPROVED IN WRITING FROM OWNER/ ARCHITECT
7. VERIFY EXISTING SECURITY SYSTEM REQUIREMENTS WITH OWNER AND COORDINATE RELOCATION OR MODIFICATION PRIOR TO CONSTRUCTION
8. VERIFY EXISTING EXTERIOR LIGHTING SYSTEM WITH OWNER AND MODIFY AS NECESSARY TO ACCOMMODATE PROPOSED CONSTRUCTION
9. PATCH AND REPAIR ADJACENT FINISHES AFFECTED BY CONSTRUCTION
10. WHERE NOT OTHERWISE SPECIFIED, PROVIDE FINISHES TO MATCH EXISTING ADJACENT



1
A6
SOUTH ELEVATION
1/8" = 1'-0"



2
A6
WEST ELEVATION
1/8" = 1'-0"

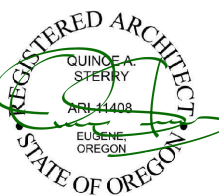


PeaceHealth

STORAGE BUILDING

Cottage Grove Community Medical Center
1515 Village Dr, Cottage Grove, OR 97424

PLANNING
APPLICATION
APPROVAL



Q. STERRY
INSPIRED • ARCHITECTURE LLC
www.Qsterry.com P.O. Box 50096
Eugene, Oregon 97405
Q@Qsterry.com 541-517-3737

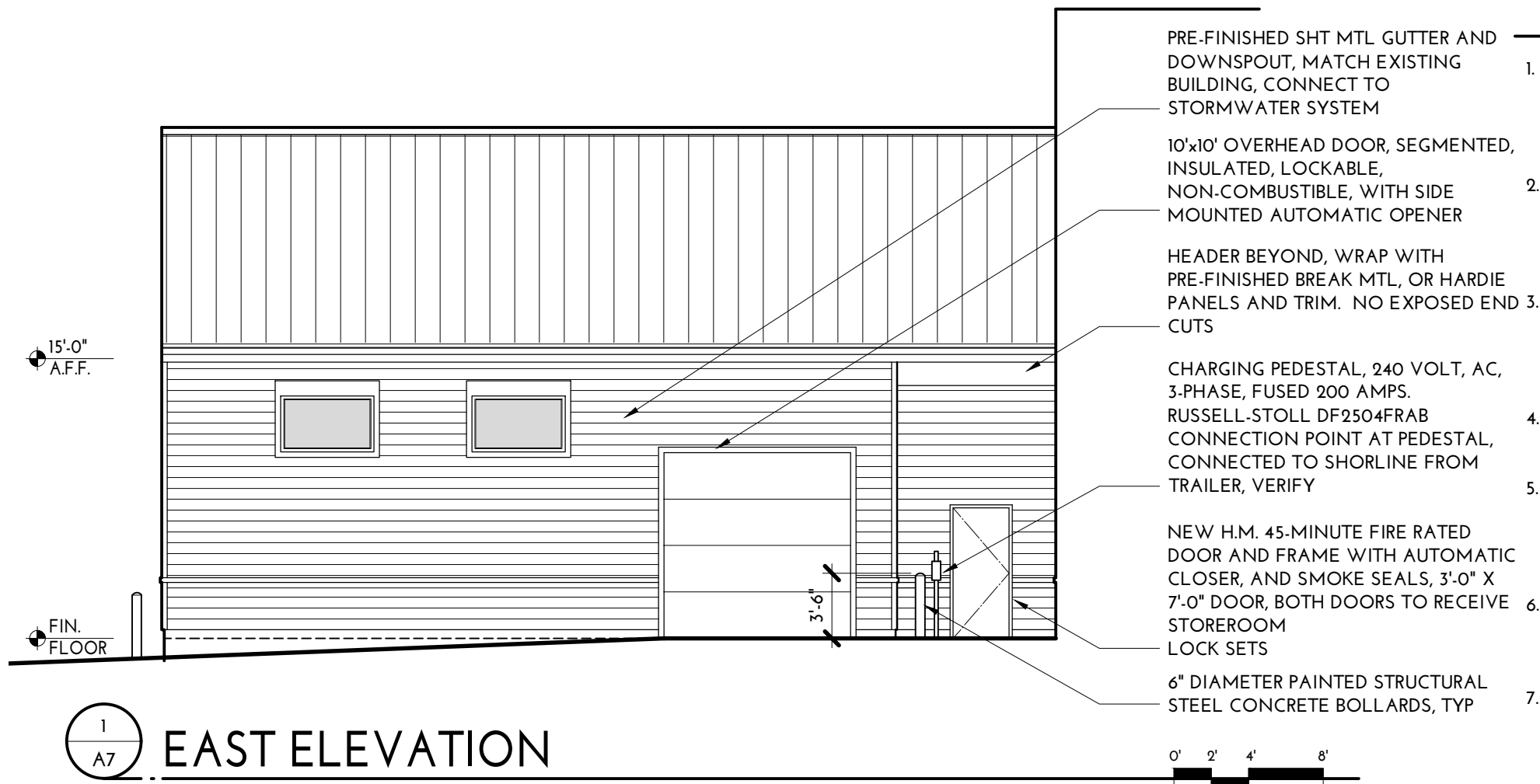
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ELEVATIONS

PROJECT # 202207
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DATE 03.03.2022
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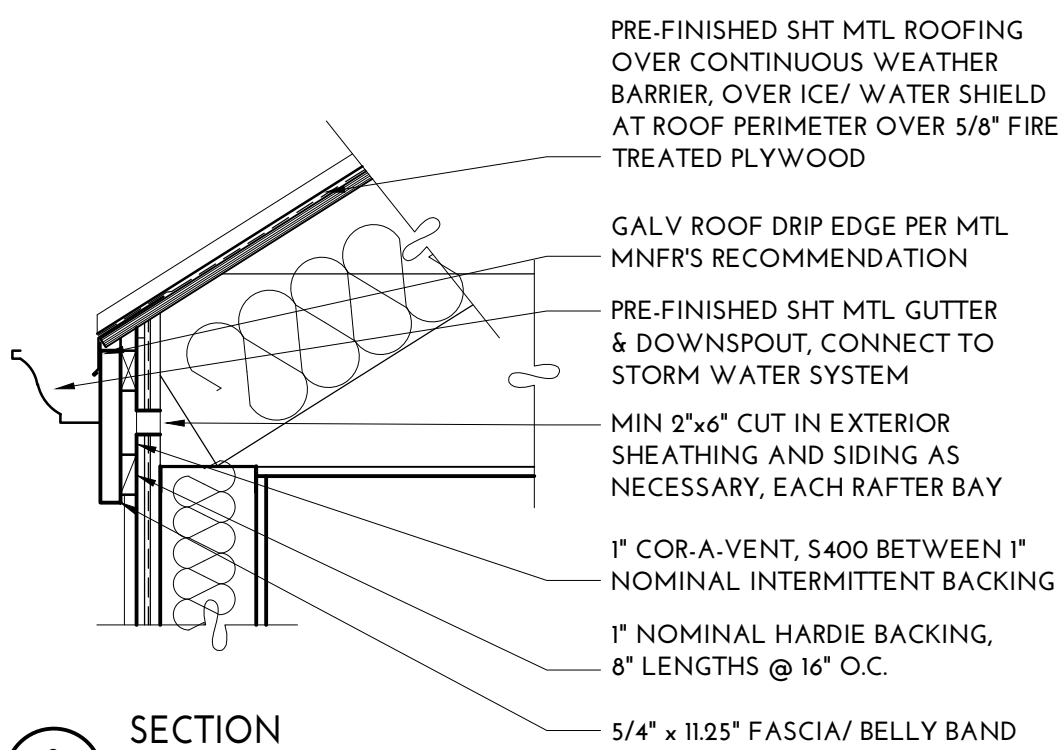
A6



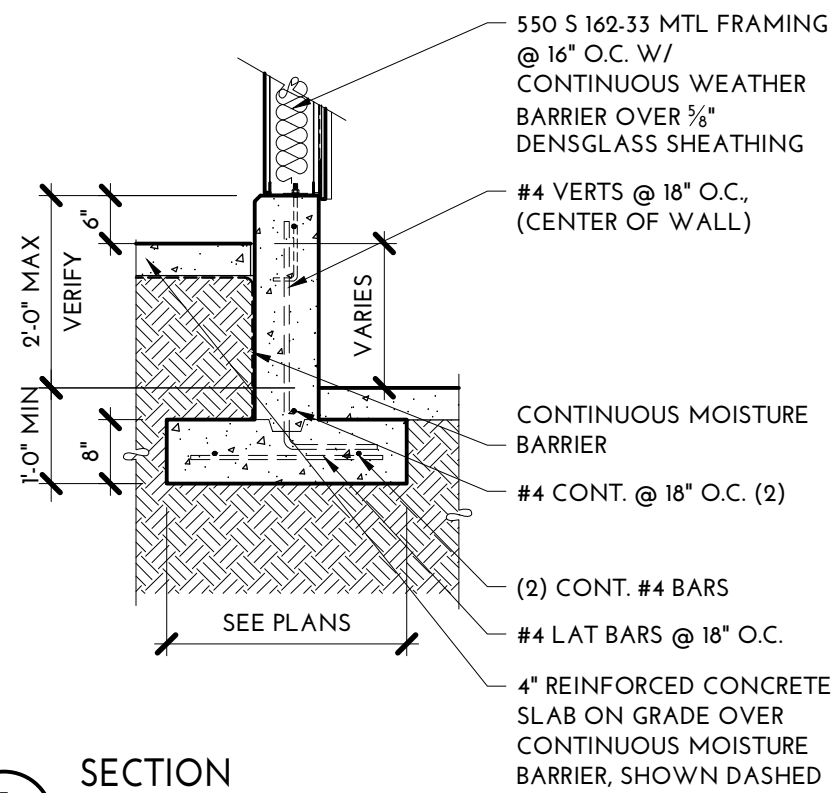
1 EAST ELEVATION
1/8" = 1'-0"

GENERAL NOTES

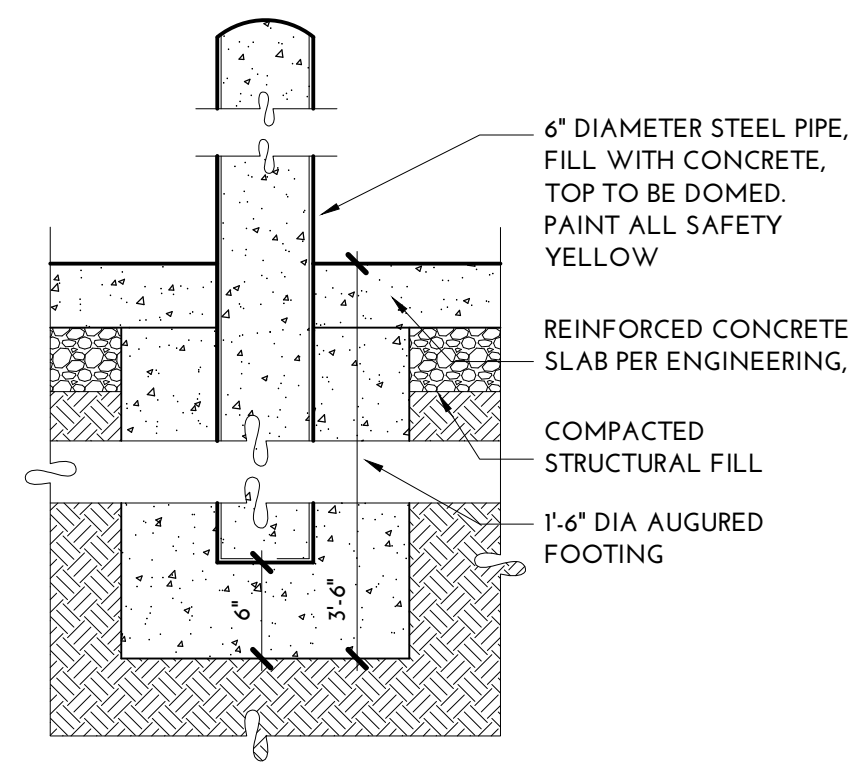
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7. VERIFY EXISTING EXTERIOR LIGHTING SYSTEM WITH OWNER AND MODIFY AS NECESSARY TO ACCOMMODATE PROPOSED CONSTRUCTION



2 SECTION VENTED EAVE
1/2" = 1'-0"



3 SECTION FOUNDATION
1/2" = 1'-0"



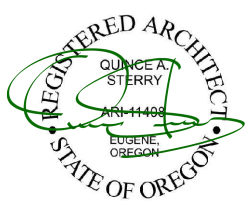
4 SECTION @ BOLLARD
1" = 1'-0"



PeaceHealth

STORAGE BUILDING
Cottage Grove Community Medical Center
1515 Village Dr, Cottage Grove, OR 97424

PLANNING APPLICATION APPROVAL



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ELEVATIONS & DETAILS

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